

**REGULAR MEETING OF THE
CITY OF ALVARADO PLANNING AND ZONING COMMISSION
104 W. COLLEGE AVE.
JANUARY 18, 2024
6:30 PM
AGENDA**

The Planning and Zoning Commission of the City of Alvarado will meet in a regularly called session on Thursday, January 18, 2024 at 6:30 p.m. in the Council Chambers at City Hall for the following agenda items.

CALL TO ORDER - Roll Call

INVOCATION

PLEDGE OF ALLEGIANCE

CITIZEN PARTICIPATION AND PUBLIC INPUT:

This is an opportunity for citizens to address the convened board of this meeting on any matter. The presiding officer may ask for the citizen to hold his or her comment on an agenda item until that agenda item is reached. The convened board has no obligation to respond in any matter to comments or questions from the public. Any response from a member of the convened Board to comments related to items not on the agenda is limited to a statement of specific factual information, a recitation of existing policy, or direction to staff to place the subject on the agenda for a future meeting.

APPROVAL OF MINUTES

1. Consideration and action to approve Minutes from the 12/12/2023 Regular Planning and Zoning Commission Meeting.

CONSENT AGENDA: NA

NEW BUSINESS:

2. Consideration and action on the application of Winston Parks with Palm Development Partners on behalf of the David and Mary Glenn Irrevocable Trust for approval of a Henderson Integrity Addition final plat on 0.6504 acres known as a portion of Tract 29 in the J. Dixon Survey, Abstract 214, approximately addressed in the 800 block of W. Hwy 67. (French)

3. Public hearing, and action approving an ordinance amending the zoning ordinance regulations in Chapter 42 of the Alvarado Code of Ordinances, relating to multi-family residential, motel, sexually oriented business, and smoke shop uses. (French)

EXECUTIVE SESSION: (OPTIONAL WITH ADVANCED NOTICE TO CITY ATTORNEY)

Pursuant to the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the City Council or other Board may convene in closed session to deliberate regarding the following matters: §551.071 Consultation with Attorney. The City Council or other Board may convene in Executive Session to conduct a private consultation with its Attorney on any legally posted agenda item, when the City Council or other Board seeks the advice of its attorney about pending or contemplated litigation, a settlement offer, or on a matter in which the duty of the Attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the provisions of Chapter 551.

COMMISSIONER COMMENTS:

Pursuant to LGC Section 551.0415, Commission Members may make a report about items of Community interest during a meeting of the governing body without having given notice of the report. Items of community interest may include, but not necessarily limited to any of the following:

- Expressions of thanks, congratulations, or condolence;
- Information regarding holiday schedules;

- An honorary or salutary recognition of a public official, public employee, or other citizen, except that a discussion regarding a change in the status of the person's public office of public employment is not an honorary or salutary recognition for purposes of this subdivision;
- A reminder about an upcoming event organized or sponsored by the governing body;
- Information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; and
- Announcements involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

ADJOURN

ACCESSIBILITY STATEMENT

The Alvarado City Hall and Council Chamber are wheelchair accessible. The exit and parking ramps are located in the front of the building. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf or hearing impaired, readers, or large print, are requested to contact the City Secretary's Office at 817-790-3351, FAX: 817-783-7925, e-mail: wallsb@cityofalvarado.org. Please call at least two (2) working days prior to the meeting so that appropriate arrangements can be made.

NON-DISCRIMINATION STATEMENT

The City of Alvarado does not discriminate on the basis of race, color, national origin, sex, religion, or disability in the employment or the provision of services.

I, the undersigned authority, do hereby certify that the above agenda was posted on the bulletin board at the City Hall of the City of Alvarado, Texas, a place convenient and readily accessible to the general public at all times, and said agenda was posted on January 12, 2024 before 4:30 p.m. and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

A handwritten signature in black ink that reads "Justin French". The signature is written in a cursive, flowing style.

Justin French, AICP
Community Development Director
City of Alvarado, Texas

**REGULAR MEETING OF
THE CITY OF ALVARADO PLANNING AND ZONING COMMISSION**

**104 W. COLLEGE
December 12, 2023 @ 6:30 PM**

MINUTES

The Planning and Zoning Commission of the City of Alvarado met in a regularly called session on Tuesday, December 12, 2023 at 6:30 p.m. in the Council Chambers at City Hall. The following members were present for roll call:

Bryan Thornton
Mike McBee
Barbara Fuller

The following member was absent for roll call:

Ryan Banister
Joshua Rendon
Kelly Richardson

The following alternate was absent for roll call:
Flint Webb

City personnel present: Justin French, Community Development Director

Chairman Thornton called the meeting to order at 6:30 p.m.

INVOCATION

PLEDGE OF ALLEGIANCE

CITIZEN PARTICIPATION AND PUBLIC INPUT – None

APPROVAL OF MINUTES – Commissioner Thorntom moved to approve the November 14, 2023 minutes as written. Commissioner McBee seconded the motion. Motion passed with four votes in favor and none opposed.

CONSENT AGENDA – None

NEW BUSINESS

Chairman Thornton opened the public hearing at 6:33 p.m. for consideration and action on an application of Stacy Standridge on behalf of Texas A&M Trust Etal represented by John Percifield for approval of a zoning change from Agricultural (A) District to General Commercial (C-2) District on 5.04 acres known as a portion of Tract 7 of the W. M. Balch Survey, A-48, addressed at 6881 E. Hwy 67. Mr. French presented a brief overview of the request. The applicant, Stacy Standridge, spoke briefly and was present to answer any questions. Being no one further to speak upon the request, Chairman Thornton closed the public hearing at 6:43 p.m., and Commissioner McBee moved to recommend approval to City Council. Commissioner Fuller seconded the motion. Motion passed with three votes in favor and none opposed.

ADJOURNMENT

Chairman Thornton adjourned the regular meeting at 6:45 p.m.

Passed and approved this _____ day of _____, 2024.

Bryan Thornton, Chairman

Attest:

Justin French, Community Development Director



Planning and Zoning Commission Meeting Management Report

Meeting Date: January 18, 2024

Contact: Justin French, Community Development Director

AGENDA ITEM:

Consideration and action on the application of Winston Parks with Palm Development Partners on behalf of the David and Mary Glenn Irrevocable Trust for approval of a Henderson Integrity Addition final plat on 0.6504 acres known as a portion of Tract 29 in the J. Dixon Survey, Abstract 214, approximately addressed in the 800 block of W. Hwy 67.

BACKGROUND & FINDINGS:

On November 20, 2023, the City Council approved the Henderson Integrity Addition preliminary plat (attached) following P&Z's recommendation for Council approval on November 14, 2023. The phase one final plat for Lot 3, Block 1 of the Henderson Integrity Addition was submitted and deemed administratively complete on December 28, 2023. Per Section 34-34.c of the Alvarado subdivision ordinance, the Planning and Zoning Commission shall:

- (1) Act within 30 days after the filing of a final plat,
- (2) Submit one of the following recommendations to the City Council.
 - a. Approve.
 - b. Approve with conditions.
 - c. Disapprove.

The Future Land Use (FLU) map within the Alvarado Comprehensive Plan designates the subject site for Local Business, which generally includes small businesses and retail uses, coffee shops, restaurant, and small professional office buildings. This type of development is best suited along Highway 67 and is intended to serve the needs of residents. The City's Development Review Committee (DRC) finds the final plat to comply with the approved preliminary plat, the minimum standards of the Alvarado subdivision ordinance, and all other ordinances. The subject site is zoned General Commercial (C-2) District and anticipated development of an urgent care center is consistent with the Comprehensive Plan.

FINANCIAL IMPACT:

None.

RECOMMENDATION:

Staff suggests the Commission recommend conditional approval to Council as stated in the attached Draft Recommendation Letter.

MANAGEMENT REVIEW:

Paul DeBuff, City Manager

ATTACHMENTS:

Application
Location Map
Preliminary Plat
Draft Recommendation Letter
Final Plat & Civil Engineering Plans



PLAT APPLICATION

Office Use Only

Clerk: _____ Project#: _____
Fee: \$ _____
Date Pd: _____ Check# or Cash: _____
Receipt#: _____ Received by: _____

Please submit all plat documents and ensure they are in compliance with the City of Alvarado Subdivision Ordinance.

Type of Plat

☐ Preliminary Plat ☒ Final Plat ☐ Plat Revision ☐ Administrative Plat

Title of Plat Henderson Addition

Total Lots 1 Total Acres .6504 Current Zoning C-2

Subdivision Name N/A Lots 1 Block(s) 1

Survey Name(s) John Dixon Survey Abstract No.(s) 214 Tract(s) _____

Address/Location 906 West US Hwy 67 Alvarado, Texas 76009

Applicant

Company or Name Palm Development Partners

Contact Name Winston Parks

Address 798 Berry Rd City Nashville State TN Zip 37204

Telephone 615-674-2130 Email wparks@winstonwarren.com

Owner (If Different)

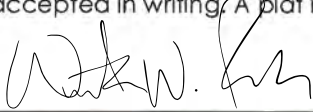
Company or Name David Glenn

Contact Name David Glenn

Address 1017 William D. Tate Ave, Suite 100 City Grapevine State Texas Zip 76051

Telephone 817-312-7883 Email davidglenn@glennlawfirm.com

I further understand that this request will be placed on the appropriate Planning & Zoning Commission and City Council agendas and must meet requirements of the Subdivision Regulations. All plats must be accepted in writing. A plat is not considered filed until accepted by the City Council.



Signature of Applicant, Owner, or Authorized Agent

12-29-2023

Date

Planning Official

Fee: \$

Date of P&Z Meeting

Date of Council Meeting

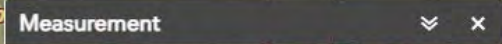
Signature of Planning Official

****FOR OFFICE USE ONLY****

Received By

Date Received

Date Approved



DESCRIPTION

A tract of land situated in the City of Alvarado, Johnson County, Texas in the John Dixon Survey, Abstract No. 214 and being a portion of Tract 2 as described in deed to David Milton Glenn in Document No. 2022-37047, Official Public Records of Johnson County, Texas (OPRJCT), being more particularly described as follows:

BEGINNING at a found mag nail (controlling monument) on the North right of way line of East Henderson Street at the Southeast corner of Lot 1, Block 1, of SUNNY ADDITION, an addition to the City of Alvarado as recorded in Volume 9, Page 886, Plat Records of Johnson County Texas (PRJCT) from which a found 1/2" iron rod bears South 88°40'15" West (reference bearing) a distance of 427.83 feet;

THENCE North 01°12'58" West, along the East line of said SUNNY ADDITION, a distance of 246.08 feet to the Southwest corner of Lot 32, Block A, of the FINAL PLAT OF SUNSET RIDGE as recorded in Instrument 2022-254 OPRJCT from which a set 1/2" iron rod with cap stamped "RPLS 6008" bears South 4.0 feet online, said Southwest corner of Lot 32 being at an intersection with a non-tangent curve;

THENCE 120.07 feet along said curve to the left and the South line of said Lot 32 and Lots 33 and 34 of Block A, having a radius of 165.00 feet (subtended by a chord of North 75°50'10" East a distance of 170.11 feet) to a found1/2" iron rod at an intersection with a non-tangent line;

THENCE South 89°22'38" East a distance of 266.55 feet to a found 3/8" iron rod on the West right of way line of Cheyenne Trail at an intersection with a non-tangent curve;

THENCE on said right of way line and curve to the left having a radius of 425.00 feet (subtended by a chord of South 16°51'41" West a distance of 256.32 feet) to a set 1/2" iron pin with cap stamped "RPLS 6008" to an intersection with a tangent line;

THENCE continuing on said right of way line South 00°41'21" East a distance of 31.32 feet to a set 1/2" iron pin with cap stamped "RPLS 6008" on the North right of way line of East Henderson Street;

THENCE South 88°40'15" West, along the North line of said East Henderson Street, a distance of 117.30 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 100,054 square feet or 2.2969 acres, more or less.

TO BE KNOWN AS:

HENDERSON INTEGRITY ADDITION

An addition to the City of Alvarado, Johnson County, Texas and do hereby dedicate to the public's use forever the easements and rights of way as shown hereon, except the private access easement and those easements and rights of way created or dedicated by separate Instrument as shown hereon.

By: David Glenn Irrevocable Trust
Name : David Glenn and Mary Glenn

STATE OF TEXAS)
) SS
COUNTY OF _____)

Before me, the undersigned, a notary public in and for the State of Texas, on this day personally appeared David Glenn, known to me to be the person whose name is subscribed to the foregoing Instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

Given my hand and seal of office, This the _____ day of _____, 2023

Notary Public, State of Texas

My commission expires _____

STATE OF _____)
) SS
COUNTY OF TEXAS)

Before me, the undersigned, a notary public in and for the State of Texas, on this day personally appeared Mary Glenn, known to me to be the person whose name is subscribed to the foregoing Instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

Given my hand and seal of office, This the _____ day of _____, 2023

Notary Public, State of Texas

My commission expires _____

PRELIMINARY RELEASE DATE:
10-19-23

SURVEYOR'S CERTIFICATION

That I, Shaun Christopher Axton, do hereby certify that I prepared this plot and the field notes made a part thereof from an actual survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Alvarado, Texas.

Shaun Christopher Axton
Registered Professional Land Surveyor
RPLS 6008

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 20_____
by the City Council of the City of Alvarado, Texas.

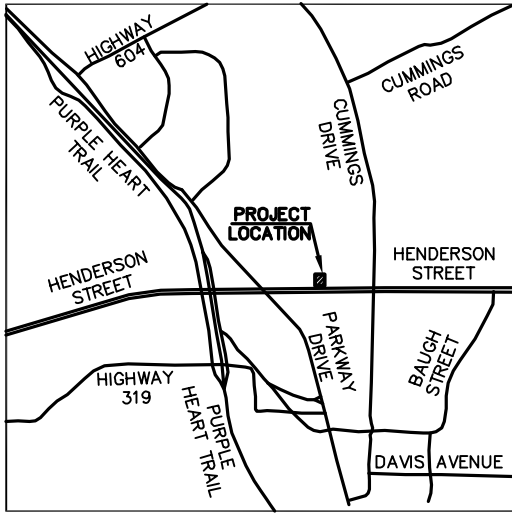
Mayor

City Secretary

Plat recorded in Volume _____ Page _____ Slide _____

County Clerk, Johnson County, Texas

Deputy, Johnson County, Texas



SUNNY ADDITION
BLOCK 1

LOT 1

CIENNA COURT

LOT 33
LOT 34
LOT 35
LOT 36
LOT 37
LOT 38
SUNSET RIDGE
BLOCK A

LOT 32

Δ=62°03'29"
T=99.26'
R=165.00'
L=178.71'
CHD=N75°50'10"E
170.11'

SET 1/2" I.P.
W/ "RPLS 6008" CAP
(4' OFFSET SOUTH)
(COR. FALLS IN STONE WALL)

OVERALL AREA:
100,054 Sq. Feet
2.2969 Acres

LOT 3
28,333 square feet or 0.6504 acres

HENDERSON INTEGRITY
ADDITION
BLOCK 1

LOT 2
32,398 square feet or 0.7458 acres

LOT 1
39,323 square feet or 0.9027 acres

CHEYENNE TRAIL

FUTURE PRIVATE ACCESS EASEMENT
TO BE SEPARATE INSTRUMENT

10' UTILITY EASEMENT
VOLUME 10, PAGE 493
PER PLAT OF
SUNNY ADDITION

20' DRAINAGE
& UTILITY EASEMENT
VOLUME 10, PAGE 493
PER PLAT OF
SUNNY ADDITION

P.O.B.
FND. MAG NAIL
(CONTROLLING MONUMENT)

PRIVATE ACCESS EASEMENT

FUTURE PRIVATE ACCESS EASEMENT

15' TELEPHONE EASEMENT
VOLUME 622, PAGE 732

20' DRAINAGE AND UTILITY
EASEMENT PER THIS PLAT

2' ELECTRIC EASEMENT
VOLUME 440, PAGE 340

20' DRAINAGE AND UTILITY
EASEMENT PER THIS PLAT

SET 1/2" I.P.
W/ "RPLS 6008" CAP

SET 1/2" I.P.
W/ "RPLS 6008" CAP

OWNER:

DAVID GLENN IRREVOCABLE TRUST
Attn: DAVID GLENN
1017 WILLIAM D. TATE AVENUE
SUITE 100
GRAPEVINE, TEXAS 76051
Phone: 817-312-7883
Email: davidglenn@glennlawfirm.com

and

MARY GLENN
5125 PRESERVATION AVENUE
COLLEYVILLE, TEXAS 76034
Email: maryglenn@yahoo.com

SURVEYOR:

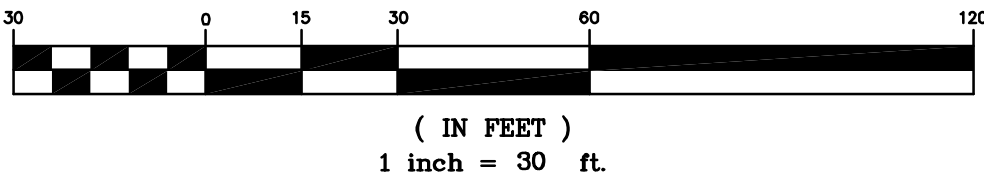
MARK DEAL ASSOCIATES, P.C.
P.O. Box 6578
Norman, OK 73070
Phone: 405.681.3325
Email: shaun@rpls.net

EAST HIGHWAY 67

LEGEND

FND. - FOUND
I.P. - IRON PIN
P.O.B. - POINT OF BEGINNING

GRAPHIC SCALE



CURVE	ARC LENGTH	RADIUS	CHORD	BEARING	CHORD	LENGTH	TANGENT	DELTA	ANGLE
C1	12.10'	165.00'	N 63°04'17" E	12.09'	6.05'	4'12'01"			
C2	46.55'	165.00'	N 52°53'21" E	46.40'	23.43'	16°09'51"			
C3	68.50'	165.00'	S 85°01'44" E	68.01'	34.75'	23°47'17"			
C4	51.56'	165.00'	N 74°07'28" E	51.35'	25.99'	17°54'19"			
C5	260.37'	425.00'	S 16°51'41" W	256.32'	134.42'	35°06'05"			
C6	8.37'	20.00'	S 76°47'10" W	8.31'	4.25'	23°58'04"			
C7	19.12'	10.00'	N 33°59'19" E	16.34'	14.17'	109°33'46"			
C8	22.98'	87.89'	S 14°08'41" E	22.91'	11.55'	14°58'44"			

PRELIMINARY PLAT OF LOTS 1-3, BLOCK 1
HENDERSON INTEGRITY ADDITION

Being 2.2969 acres situated in the JOHN DIXON SURVEY,
ABSTRACT NO. 214

CITY OF ALVARADO, JOHNSON COUNTY, TEXAS
PLAT PREPARED MAY 24, 2023



City of Alvarado
104 W. College Alvarado, TX 76009
817-790-3351 ♦ Fax 817-783-7925 ♦ www.cityofalvarado.org

January 18, 2023

Palm Development Partners
Attn: Winston Parks
798 Berry Road
Nashville, TN 37204
615.674.2130
wparks@winstonwarren.com

Re: Final Plat of Lot 3, Block 1 of the Henderson Integrity Addition

Dear Mr. Parks,

This letter is to inform you that on January 18, 2024, the Alvarado City Planning and Zoning Commission recommended conditional approval of the final plat for Lot 3, Block 1 of the Henderson Integrity Addition. Below are the conditions on approval. The Alvarado City Council will consider this final plat on January 22, 2024.

1. The 20' U.E. along the lot's frontage must be a 20' U.E. and D.E.
2. The final plat may not be recorded until the civil plans are approved and public improvements are installed and pass inspection.
3. TxDOT approval of the TIA and civil plans is required prior to recording the final plat.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
104 W. College Ave. | Alvarado, TX 76009
817.790.3351 | 817.240.9585 mobile
frenchj@cityofalvarado.org

Attachments:
City Engineer Mark Ups on Civil Plans

INTEGRITY URGENT CARE

(NON-AMBULATORY CARE FACILITY)

BHC Fourth Review
01-12-2024

This is the fourth review of the Integrity Urgent Care submittal. Our review is for general compliance with the City of Alvarado's development requirements. It is based on the City's Subdivision Ordinance and Good Engineering Practice, and does not relieve the design engineer of their responsibilities as the Engineer of Record under the Texas Engineering Practice Act.

Resubmittal shall include previous review comments and the Engineer's responses to each comment, either on the marked up sheets or as a separate response letter.

Cooper Reinbold, P.E.

CITY MANAGER: PAUL DEBUFF

MAYOR: JACOB WHEAT

CITY COUNCIL:
SCOTT ARTHUR
MICHAEL BENNETT
CHERRY BRYANT
LYDIA MOON
BEVERLY SHORT
KEVIN THOMAS

DRAINAGE FOR THIS DEVELOPMENT HAS BEEN DESIGNED SUCH THAT THERE WILL BE NO ADVERSE IMPACTS ON THE CAPACITY, FUNCTION OR INTEGRITY OF TEXAS DEPARTMENT OF TRANSPORTATION RIGHT OF WAY DRAINAGE FACILITIES.

CONTACT INFORMATION

CIVIL ENGINEER:
BENCHMARK DESIGN GROUP, LLC
2026 REPUBLIC DRIVE, SUITE B
TYLER, TEXAS 75701
ATTN: GREG MITCHELL, P.E.
PHONE: 903-534-5353

SURVEYOR:
MARK DEAL AND ASSOCIATES
PO BOX 6578
NORMAN, OKLAHOMA 73070
ATTN: SHAUN AXTON, P.L.S.
PHONE: 405-681-3325

DEVELOPER:
PALM DEVELOPMENT PARTNERS
23134 HIGHWAY 22 N
N. YUMA, TX, 38390
ATTN: WINSTON PARKS
PHONE: 615-823-2141

CITY OF ALVARADO
104 WEST COLLEGE
ALVARADO, TX 76009
ATTN: JUSTIN FRENCH
PHONE: 817-790-3351

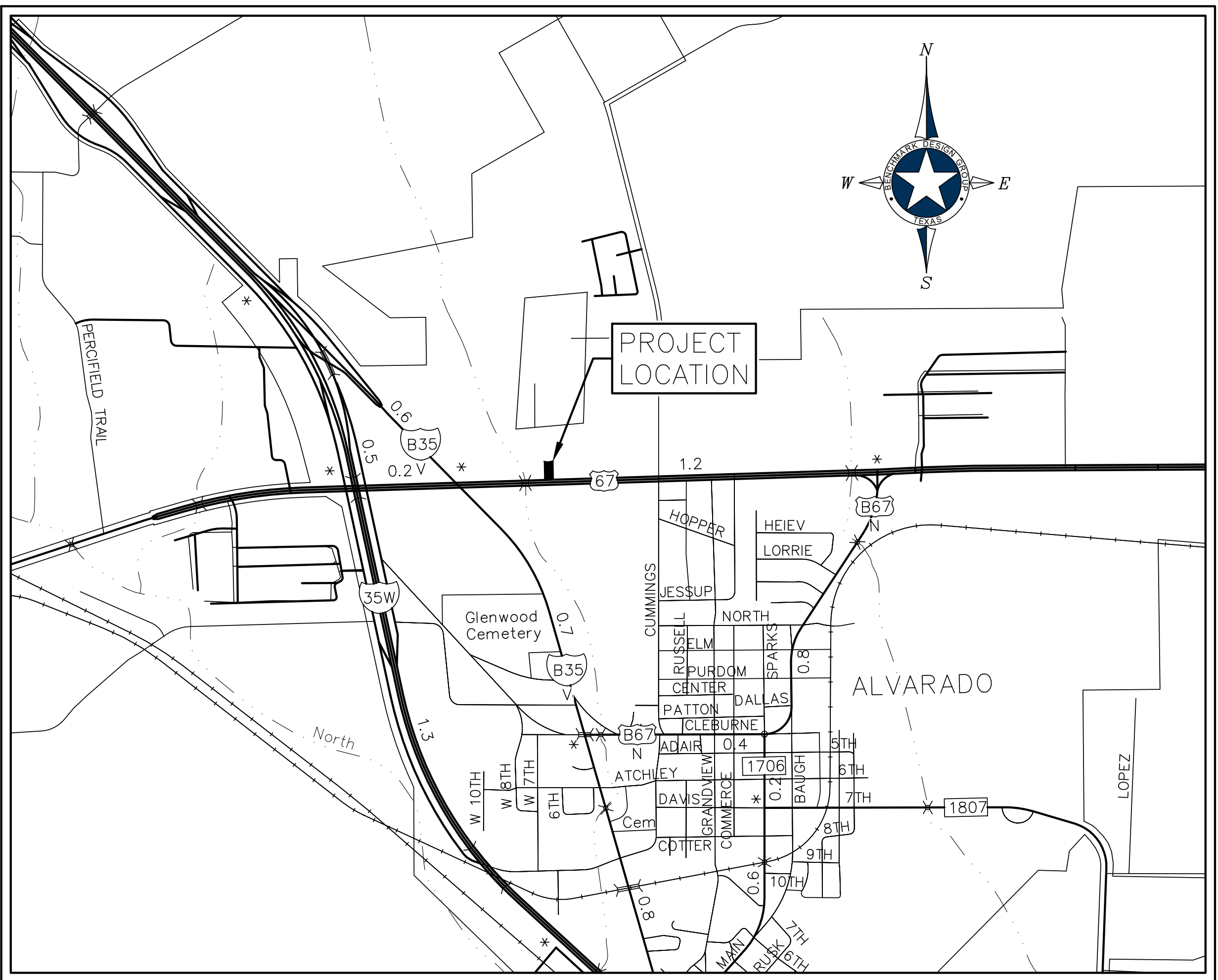
TELEPHONE
A. T. & T.
PHONE: 833-703-0899

GAS
ATMOS ENERGY
PHONE: 888-286-6700

CABLE TELEVISION
SPECTRUM
PHONE: 877-482-3782

ELECTRIC
ONCOR ELECTRIC
PHONE: 888-313-6862

**TEXAS COMMISSION OF
ENVIRONMENTAL QUALITY**
TCEQ REGION 4
2309 GRAVEL DRIVE
FORT WORTH, TX 76118
PHONE: 817-588-5800



VICINITY MAP
N.T.S.

INDEX OF SHEETS

C-1	COVER SHEET
C-2A	PRELIMINARY PLAT
C-2B	EXISTING SURVEY
C-3	EROSION CONTROL PLAN
C-4	SITE PLAN
C-5	GRADING PLAN
C-6A	EXISTING DRAINAGE AREA MAP
C-6B	PROPOSED DRAINAGE AREA MAP
C-6C	DRAINAGE CALCULATIONS
C-6D	DRAINAGE CALCULATIONS
C-7	STORMSEWER AND UNDERGROUND STORAGE PLAN
C-8A	ON-SITE UTILITY PLAN
C-8B	OFF-SITE UTILITY PLAN
C-9	DETAILS
C-10	DETAILS
C-11	DETAILS
C-12	DETAILS
C-13	TxDOT PRECAST SAFETY END TREATMENT DETAILS
L-1	LANDSCAPE PLAN



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.
THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

**BENCHMARK
DESIGN GROUP**
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

COVER SHEET

**BENCHMARK
DESIGN GROUP**
CIVIL / ENVIRONMENTAL / PLANNERS

DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.

C-1

DESCRIPTION

A tract of land situated in the City of Alvarado, Johnson County, Texas in the John Dixon Survey, Abstract No. 214 and being a portion of Tract 2 as described in deed to David Milton Glenn in Document No. 2022-37047, Official Public Records of Johnson County, Texas (OPRJCT), being more particularly described as follows:

BEGINNING at a found mag nail (controlling monument) on the North right of way line of Highway 67 at the Southeast corner of Lot 1, Block 1, of SUNNY ADDITION, an addition to the City of Alvarado as recorded in Volume 9, Page 886, Plat Records of Johnson County Texas (PRJCT) from which a found 1/2" iron rod (controlling monument) bears South 88°40'15" West (reference bearing) a distance of 427.83 feet;

THENCE North 01°12'58" West, along the East line of said SUNNY ADDITION, a distance of 246.08 feet to the Southwest corner of Lot 32, Block A, of the FINAL PLAT OF SUNSET RIDGE as recorded in instrument 2022-254 OPRJCT from which a set 1/2" iron rod with cap stamped "RPLS 6008" bears South 4.0 feet online, said Southwest corner of Lot 32 being at an intersection with a non-tangent curve to the left;

THENCE 120.07 feet along said non-tangent curve and the South line of said Lot 32 and Lot 33 of Block A, having a radius of 165.00 feet (subtended by a chord of North 86°01'06" East, 117.44 feet) to a set 1/2" iron rod with cap stamped "RPLS 6008" at an intersection with a non-tangent line;

THENCE South 01°12'58" East a distance of 251.52 feet to a set 1/2" iron rod with cap stamped "RPLS 6008" on the North right of way line of Highway 67;

THENCE South 88°40'15" West, along the North line of said Highway 67, a distance of 117.30 feet to the POINT OF BEGINNING.

Said tract of land contains an area of 28,333 square feet or 0.6504 acres, more or less.

TO BE KNOWN AS:

HENDERSON INTEGRITY ADDITION

An addition to the City of Alvarado, Johnson County, Texas and do hereby dedicate to the public's use forever the easements and rights of way as shown hereon, except those easements and rights of way created or dedicated by separate instrument as shown hereon.

By: David Glenn Irrevocable Trust
Name : David Glenn and Mary Glenn

STATE OF TEXAS)
) SS
COUNTY OF _____)

Before me, the undersigned, a notary public in and for the State of Texas, on this day personally appeared David Glenn, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

Given my hand and seal of office, This the _____ day of _____, 2023

Notary Public, State of Texas

My commission expires _____

STATE OF _____)
) SS
COUNTY OF TEXAS)

Before me, the undersigned, a notary public in and for the State of Texas, on this day personally appeared Mary Glenn, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

Given my hand and seal of office, This the _____ day of _____, 2023

Notary Public, State of Texas

My commission expires _____

SURVEYOR'S CERTIFICATION

That I, Shaun Christopher Axton, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Alvarado, Texas.

Shaun Christopher Axton
Registered Professional Land Surveyor
RPLS 6008

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 20_____
by the City Council of the City of Alvarado, Texas.

Mayor _____

City Secretary _____

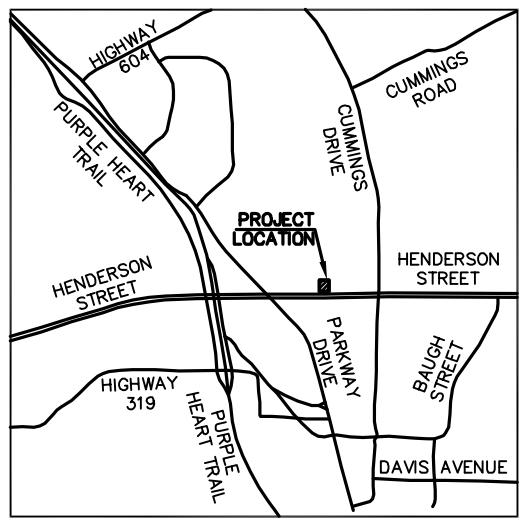
Approved this _____ day of _____, 20_____
by the director of community development of the City of Alvarado, Texas, as authorized by section 4.6 of the Subdivision Ordinance (section 34-38 of the city Code) of the City of Alvarado, Texas.

City Secretary _____

Plat recorded in Volume _____, Page _____, Slide _____

County Clerk, Johnson County, Texas

Deputy, Johnson County, Texas



LOCATION MAP
NOT TO SCALE

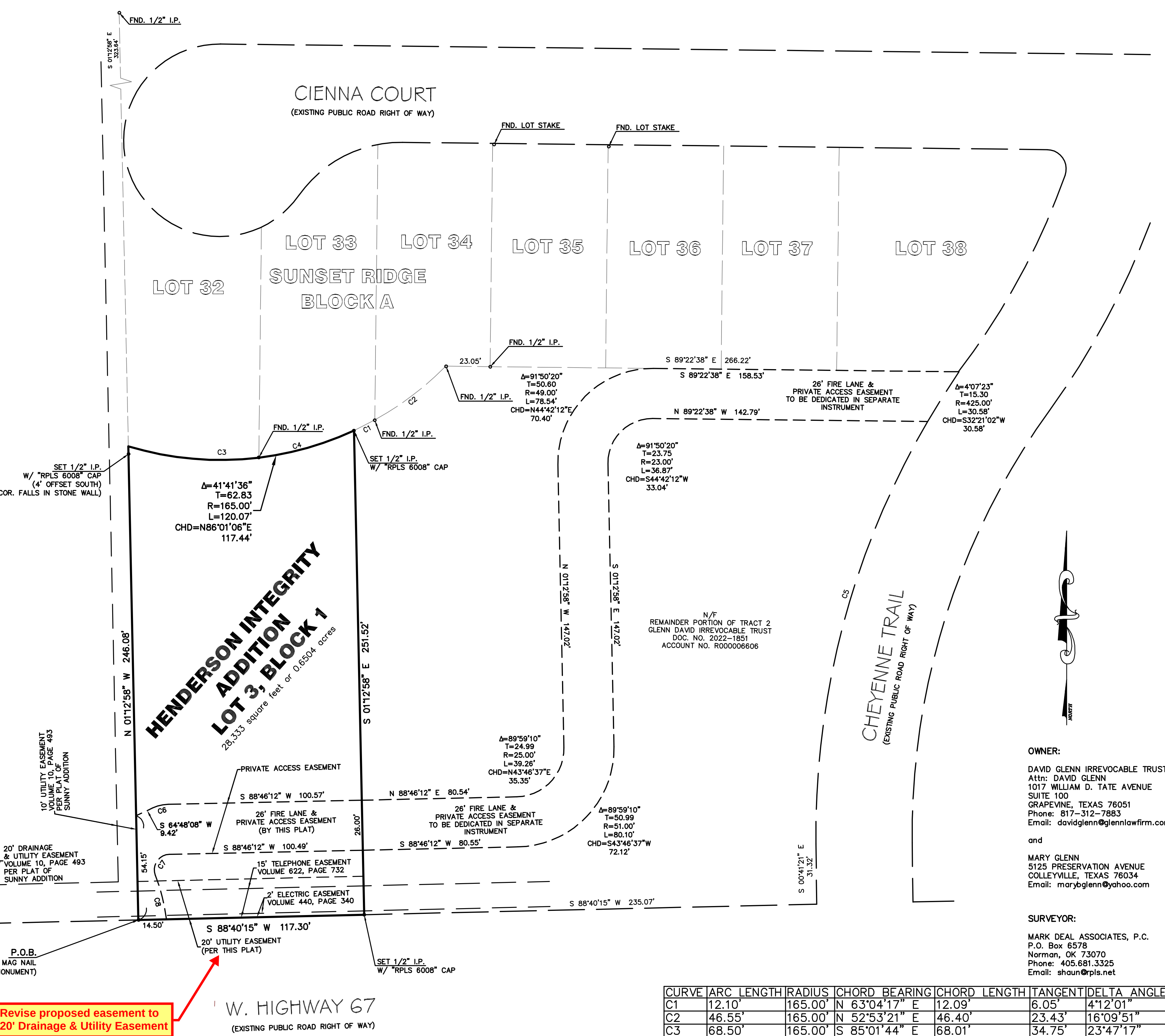
SUNNY ADDITION
BLOCK 1

LOT 1

Revise proposed easement to
20' Drainage & Utility Easement

NOTES

- The bearing of South 89°40'15" West as shown on the North right of way line of Highway 67 was used as the basis of bearing for this survey. The bearings shown hereon are based upon Texas State Plane North Central Zone, which was used as the basis of bearing for this survey.
- All set monuments are 1/2" iron pins with washer stamped "RPLS 6008".
- Said described property is located within an area having a Zone Designation "X" (Areas determined to be outside of the 0.2% annual chance floodplain) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 48251C0215J, with a date of identification of December 4, 2012, for Community No. 480397, in Johnson County, State of Texas, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
- Selling a portion of this subdivision by metes and bounds is a violation of City Ordinance and State Law and is subject to fines, withholdings of utilities, and building permits.

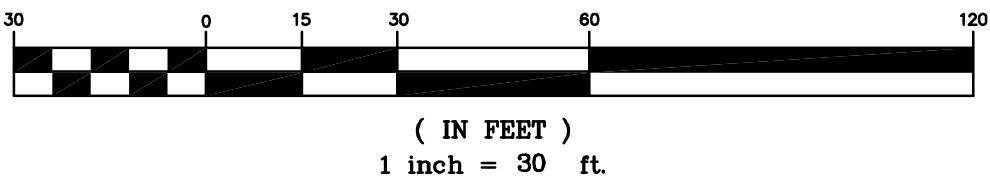


W. HIGHWAY 67
(EXISTING PUBLIC ROAD RIGHT OF WAY)

LEGEND

FND. - FOUND
I.P. - IRON PIN
P.O.B. - POINT OF BEGINNING

GRAPHIC SCALE



CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	TANGENT	DELTA ANGLE
C1	12.10'	165.00'	N 63°04'17" E	12.09'	6.05'	4°12'01"
C2	46.55'	165.00'	N 52°53'21" E	46.40'	23.43'	16°09'51"
C3	68.50'	165.00'	S 85°01'44" E	68.01'	34.75'	23°47'17"
C4	51.56'	165.00'	N 74°07'28" E	51.35'	25.99'	17°54'19"
C5	260.37'	425.00'	S 16°51'41" W	256.32'	134.42'	35°06'05"
C6	8.37'	20.00'	S 76°47'10" W	8.31'	4.25'	23°58'04"
C7	15.30'	8.00'	S 33°59'19" W	13.07'	11.33'	109°33'46"
C8	23.69'	89.89'	S 14°05'07" E	23.62'	11.91'	15°05'52"

FINAL PLAT
LOT 3, BLOCK 1
HENDERSON INTEGRITY ADDITION

Being 0.6504 acres situated in the JOHN DIXON SURVEY,
ABSTRACT NO. 214

CITY OF ALVARADO, JOHNSON COUNTY, TEXAS

PLAT PREPARED DECEMBER 22, 2023

OWNER:

DAVID GLENN IRREVOCABLE TRUST
Attn: DAVID GLENN
1017 WILLIAM D. TATE AVENUE
SUITE 100
GRAPEVINE, TEXAS 76051
Phone: 817-312-7883
Email: davidglenn@glennlawfirm.com

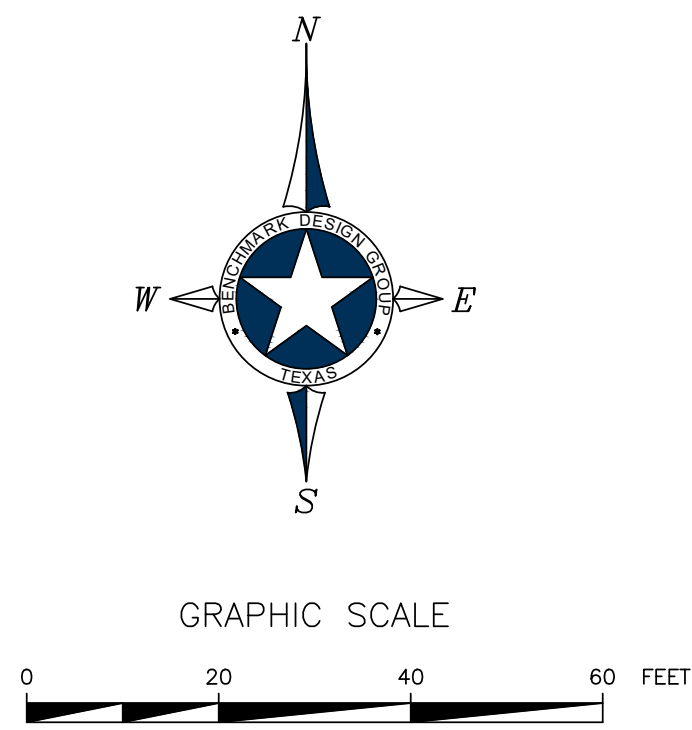
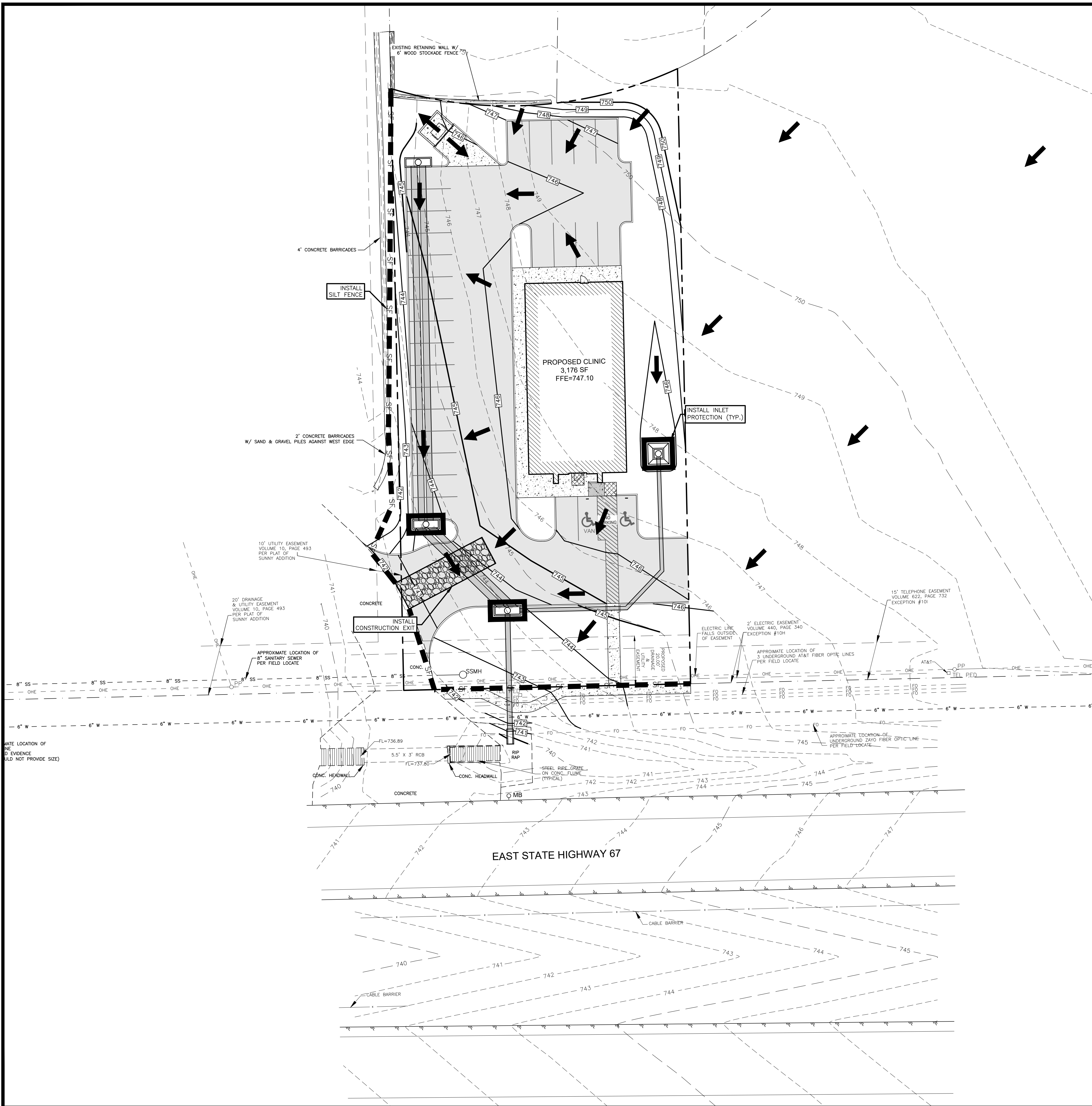
and

MARY GLENN
5125 PRESERVATION AVENUE
COLLEYVILLE, TEXAS 76034
Email: marybglen@yahoo.com

SURVEYOR:

MARK DEAL ASSOCIATES, P.C.
P.O. Box 6578
Norman, OK 73070
Phone: 405.681.3325
Email: shaun@rpis.net

F:\Projects\2023\035 Xpress Wellness - Alvarado.dwg, 1/3/2024 10:51:01 AM, Andrew



LEGEND	
TEL PED □	EXISTING TELEPHONE PEDESTAL
C.O.O □	EXISTING CLEANOUT
WV X	EXISTING WATER VALVE
WM ⊞	EXISTING WATER METER
MH ○	EXISTING SAN. SEWER MANHOLE
PP -○-	EXISTING POWER POLE
FH ○	EXISTING FIRE HYDRANT
--- OHE ---	EXISTING OVERHEAD ELECTRIC LINE
--- EX. WTR ---	EXISTING WATER LINE
--- EX. SS ---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---534---	EXISTING 1' CONTOUR
---535---	EXISTING 5' CONTOUR
---534---	PROPOSED 1' CONTOUR
---535---	PROPOSED 5' CONTOUR
---	PROPOSED DRAINAGE PATTERN
SF	PROPOSED SILT FENCE

NOTICE TO CONTRACTORS	
1. These plans are subject to review and approval by all jurisdictions having authority.	
2. Contractor shall appropriately notify all relevant entities prior to digging on this project.	
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.	
4. The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK.	
5. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.	
6. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:	
Telephone cable Stormwater lines Sanitary Sewer lines Saltwater lines	Conduits Water lines Sanitary Sewer lines Oil Production lines
Pipes Gas lines Saltwater lines	
Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.	

NOTE:

- DUE TO CONTRACTOR SEQUENCING OPERATIONS, THE LOCATION OF EROSION CONTROL MEASURES AS SHOWN ON THIS SHEET ARE TO BE USED AS A GUIDELINE ONLY. IT SHALL BE UNDERSTOOD THAT THIS SHEET IS PART OF A LARGER PROCESS OF PREVENTING SEDIMENTATION FROM LEAVING THE SITE. THIS PROCESS IS TO BE DYNAMIC IN NATURE AND THEREFORE THE CONTRACTOR SHALL LOCATE SILT FENCE, ROCK BERMS, CONSTRUCTION EXITS, SEDIMENT PONDS, ETC. AS NEEDED TO FACILITATE THE CURRENT OPERATIONS OF CONSTRUCTION OF THE PROJECT. RELOCATION OF EROSION CONTROL MEASURES SHALL BE NOTED ON THIS SHEET AND SIGNED AND DATED BY THE CONTRACTOR IN ACCORDANCE WITH TPDES GENERAL PERMIT NO. TXR150000.
- REGARDLESS OF WHAT THIS SWPPP SITE PLAN SHOWS, THE OPERATOR IS RESPONSIBLE FOR FULLY COMPLYING WITH THE TPDES GENERAL PERMIT NO. TXR150000 TO THE FULLEST EXTENT. IF CONTRACTOR HAS ANY QUESTIONS, HE SHALL CONTACT TCEQ OR ENGINEER TO OBTAIN PERMIT CLARIFICATION. ANY AND ALL ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH TPDES GENERAL PERMIT NO. TXR150000 SHALL BE IMPLEMENTED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ADHERE TO THE SCHEDULE OF INSPECTIONS AS PROVIDED IN PART III, SECTION F OF THE TPDES GENERAL PERMIT NO. TXR150000.

EROSION CONTROL NOTES:

- ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
- OIL AND GREASE ABSORBING MATERIALS SHALL BE READILY AVAILABLE ON-SITE AND SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
- DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS IS PROHIBITED.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR AT LEAST FOURTEEN DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY SEEDED WITHIN SEVEN DAYS PER LANDSCAPING AND/OR OWNER'S REQUIREMENTS.
- ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF.
- ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT IN THE STORM SEWER SYSTEM AND ALONG SILT FENCES.
- SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
- ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH TCEQ STORMWATER POLLUTION REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
- THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES AS REQUIRED BY THE TCEQ TPDES PERMIT.
- WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE EXPORTED FOR USE OFF OF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT TCEQ STORM WATER PERMITTING REQUIREMENTS ARE MET. PRIOR TO ANY EXPORT OF MATERIALS, THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT WITH ANY LANDOWNER WHO WILL RECEIVE THE EXPORTED MATERIALS, STATING THAT THE SITE WILL BE PROPERLY PERMITTED WHEN REQUIRED AND DESCRIBE THE EROSION CONTROL MEASURES WHICH WILL BE USED. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (HAY BALES OR SILT FENCES) ON ALL DOWNSLOPES AND SIDESLOPE BOUNDARIES OF ANY DISTURBED AREA, PLUS PROVISIONS FOR REVEGETATION AFTER THE FILL MATERIALS ARE IN PLACE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES UNTIL SITE HAS BEEN STABILIZED.
- DOUBLE SILT FENCE ROWS TO BE MIN. 6' APART.
- EROSION CONTROL PLANS ARE LIVING DOCUMENTS. FIELD CHANGES MUST OCCUR AS CONSTRUCTION CONDITIONS CHANGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL EROSION PROTECTION REQUIREMENTS.



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811 AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

EROSION CONTROL
PLAN



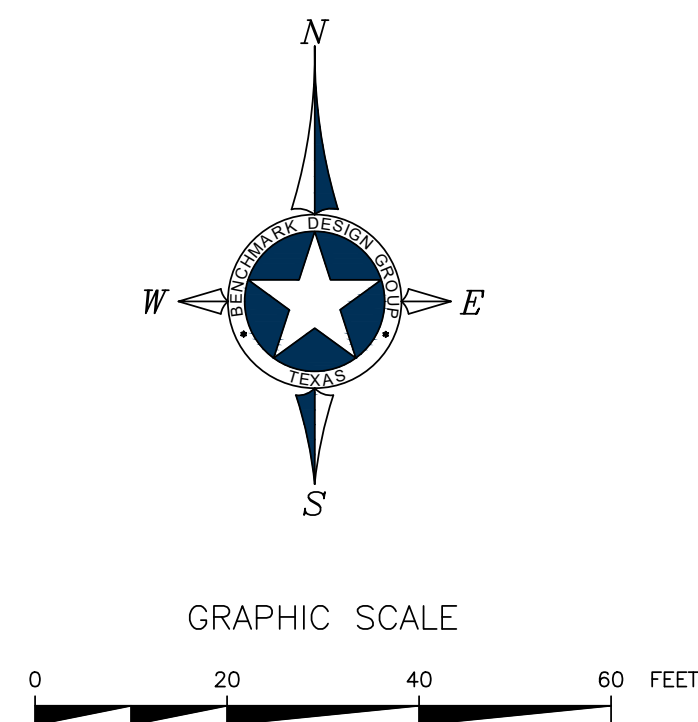
DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.
C-3



1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS, SIZES AND OUTFALLS OF ROOF DOWNSPOUTS.
2. ALL SIGNS PLACED IN AREAS ACCESSIBLE BY VEHICLE TRAFFIC SHALL BE PLACED IN GUARD POST.
3. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
4. ALL CURB RADIUS SHOWN ARE TO BACK OF CURB.
5. ALL PAVING DIMENSIONS ARE TO BACK OF CURB, WHERE APPLICABLE, OR TO THE EDGE OF PAVEMENT WHEN NO CURB IS PROPOSED, UNLESS OTHERWISE NOTED.
6. CONTRACTOR IS RESPONSIBLE FOR PROTECTION & REPLACEMENT OF ALL PROPERTY CORNERS.
7. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
8. CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS.
9. THE EARTHWORK FOR ALL BUILDING SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
10. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
11. ALL PAVEMENT MARKING PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", WHITE ON ASPHALT, YELLOW ON CONCRETE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE. STRIPES SHALL BE 4" WIDE UNLESS OTHERWISE INDICATED.
12. CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
13. FOR SITE UTILITIES, SEE UTILITY PLAN.
14. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY.

TEL	PED	□	EXISTING TELEPHONE PEDESTAL
C.O.O		□	EXISTING CLEANOUT
WV	⌘		EXISTING WATER VALVE
WM	⊞		EXISTING WATER METER
HH	⊞		EXISTING SAN. SEWER MANHOLE
PP	⊞		EXISTING POWER POLE
FH	⊞		EXISTING FIRE HYDRANT
---	---	---	EXISTING OVERHEAD ELECTRIC LINE
---	---	---	EXISTING WATER LINE
---	---	---	EXISTING SAN. SEWER LINE
---	---	---	PROPERTY LINE
			PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)



*** STOP! CALL BEFORE YOU DIG! ***

AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.

THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

1. The contractor shall be subject to review and approval by all jurisdictions having authority.
2. The contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
4. In the event of a discrepancy between the construction documents and information provided by **MARK DEAL AND ASSOCIATES, NORMAN, OK**, the contractor shall, in writing, immediately, The engineer and owner shall be notified of any problems and/or associated costs resulting from lack of notification.
5. The contractor shall be responsible for confirming the horizontal and vertical location buried utilities and structures, including, but not limited to the following:

Telephone cables	Conduits	Pipes
Standard lines	Water lines	Gas lines
Television cables	Sewer/Sanitary Sewer	Oil Production lines
Other lines		
6. Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall oblige owner and contractor of liability.

LOT: 3 BLOCK: 1
ZONING: C-2 (COMMERCIAL DISTRICT 2)
SETBACKS:
FRONT: 35' REAR: 25' SIDE: NONE
TOTAL LOT AREA: 28,333 SF (0.6504 AC.)
BUILDING AREA: 3,176 SF

PARKING
TOTAL BUILDING AREA = 3,176 SF
MEDICAL CLINIC @ 1 SPACE PER 200 SF OF 3,176 SF = 16 SPACES

	REQUIRED	PROVIDED
TOTAL PARKING	16 SPACES	28 SPACES

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CEB
REVISED OVERHANG	6-19-23	AEF
INITIAL CITY SUBMITTAL	8-9-23	AEF
CITY COMMENTS	9-15-23	CEB
CITY COMMENTS	11-20-23	CEB
DRAIN. REV. / CITY COMMENTS	1-3-2024	AEF

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

SITE PLAN

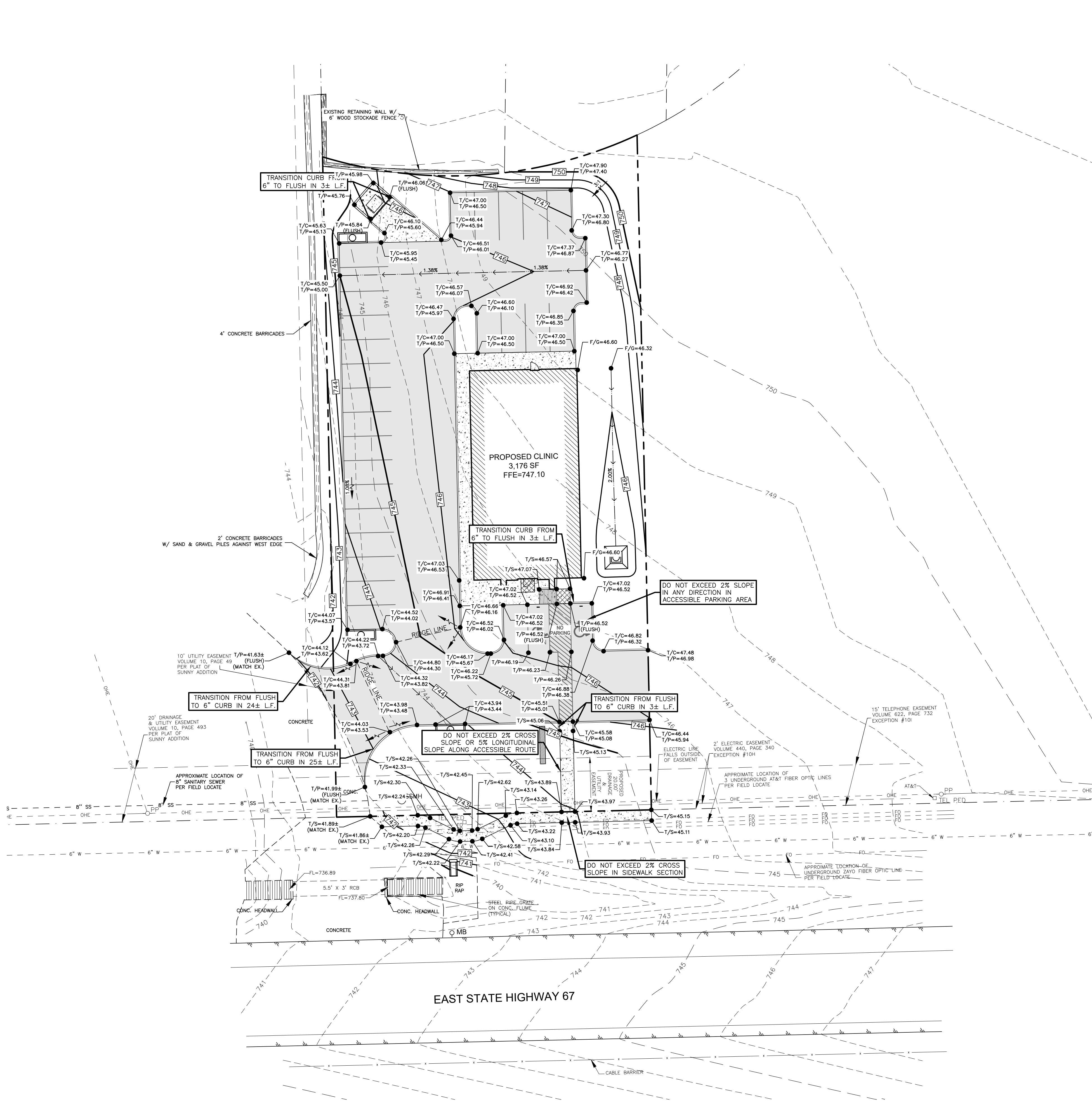
DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

SHEET NO.
C-4

F:\Projects\2023\035 Xpress Wellness - Alvarado.dwg 2023.035.dwg, 1/3/2024 2:16:08 PM, Andrew



GRADING NOTES:

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
2. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
6. EXISTING GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
7. PROPOSED GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. ALL LANDSCAPING TO BE PER LANDSCAPE PLANS AND SPECIFICATIONS AND/OR AS DIRECTED BY OWNER.
9. FOR LOCATION OF ALL UTILITY ENTRANCES, SEE M.E.P. PLANS AND SPECIFICATIONS.
10. CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS CO. FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
11. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ALL SPOT GRADES AND CONTOURS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED. FINISHED GRADE IS TO INCLUDE 4" TOPSOIL IN LANDSCAPED AREAS.
13. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.C	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED SPOT GRADE
T/C	TOP OF CURB
T/P	TOP OF PAVEMENT
T/S	TOP OF SIDEWALK
F/G	FINISHED GRADE
---	PROPOSED "LEVEL" LANDING (SLOPE OF LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION)



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS 811 CALL SYSTEM.
THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

1. These plans are subject to review and approval by all jurisdictions having authority.
2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
4. The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
5. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

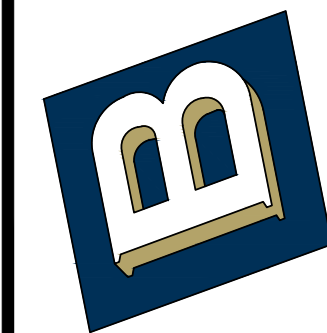
Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.



SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED OVERLAP	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV./ CITY COMMENTS	1-3-2024	AES

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

GRADING PLAN

DRAWN BY: CCB

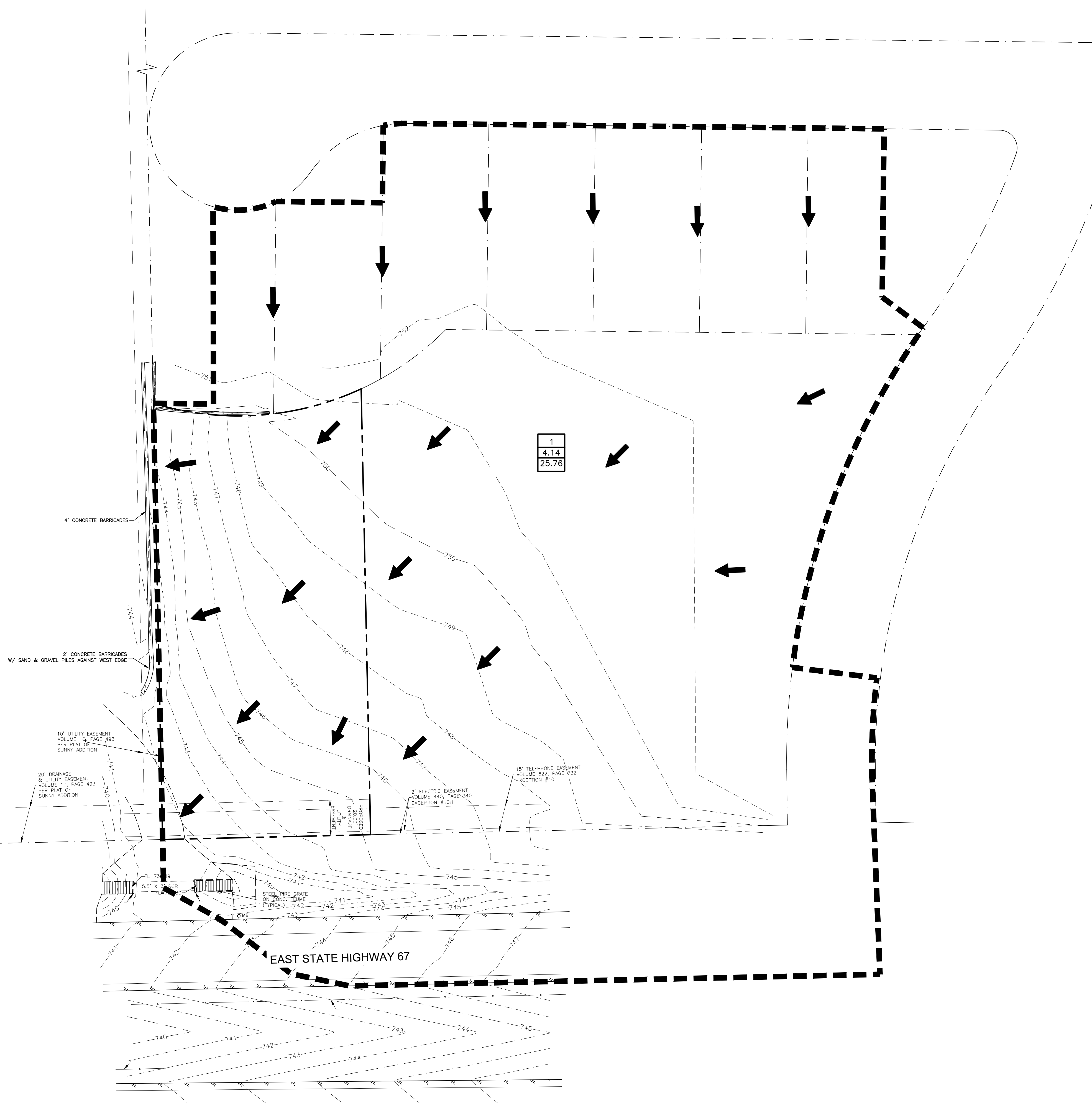
CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.
C-5

F:\Projects\2023\035 Xpress Wellness - Alvarado.dwg, 1/3/2024 10:53:37 AM, Andrew



LEGEND

TEL PED	□	EXISTING TELEPHONE PEDESTAL
C.O.O	○	EXISTING CLEANOUT
WV	⊗	EXISTING WATER VALVE
WM	⊞	EXISTING WATER METER
MH	○	EXISTING SAN. SEWER MANHOLE
PP	○	EXISTING POWER POLE
FH	○	EXISTING FIRE HYDRANT
---	---	EXISTING OVERHEAD ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	EXISTING SAN. SEWER LINE
---	---	PROPERTY LINE
---	---	EXISTING 1' CONTOUR
---	---	EXISTING 5' CONTOUR
---	---	EXISTING DRAINAGE PATTERN
---	---	EXISTING DRAINAGE DELINEATION

X	= DRAINAGE AREA NUMBER
X.XX	= DRAINAGE AREA (AC.)
X.XX	= 100-YR RUNOFF (CFS)



*** STOP! CALL BEFORE YOU DIG! ***

AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.

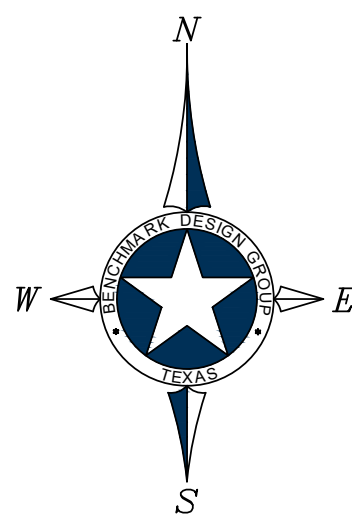
THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormsewer lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.



SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED OVERLAP	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV./ CITY COMMENTS	1-3-2024	AES

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

EXISTING DRAINAGE
AREA MAP

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS

DRAWN BY: CCB

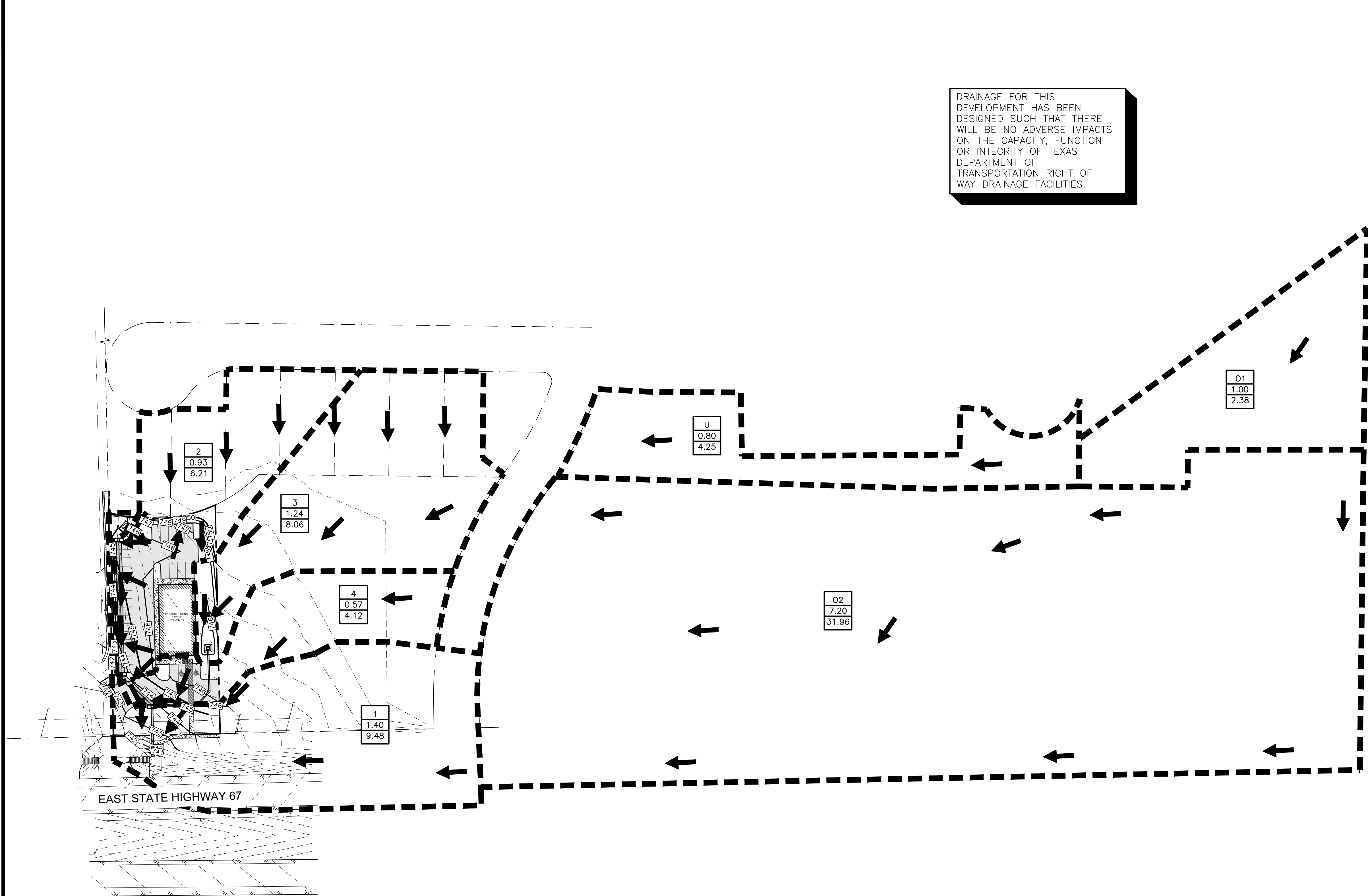
CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.
C-6A

F:\Projects\2023\035 Xpress Wellness - Alvarado.dwg 2023.035.dwg, 1/3/2024 10:54:48 AM, Andrew



HYDRAULIC CAPACITIES FOR STORMSEWER PIPES WERE CALCULATED USING A MANNING'S "n" VALUE OF 0.013

A PARTIAL LIST OF ACCEPTABLE STORMSEWER PIPES CAPABLE OF PROVIDING THE REQUIRED HYDRAULIC EFFICIENCY FOR THIS APPLICATION ARE AS FOLLOWS:

A.) CONTECH "A-2000" PVC STORMSEWER PIPE
B.) ADS HP STORM - DUAL WALL - PP
C.) HANSON CONCRETE REINFORCED CONCRETE PIPE

* CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER PIPE INSTALLATION AND EMBEDMENT

ALL PIPES MAY BE ONE OF THE ABOVE STATED CHOICES, UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO SUBSTITUTING OR ORDERING ALTERNATE PIPE AND FITTINGS

LEGEND		
TEL PED	□	EXISTING TELEPHONE PEDESTAL
C.O.O	○	EXISTING CLEANOUT
WV	⊗	EXISTING WATER VALVE
WM	⊕	EXISTING WATER METER
WH	○	EXISTING SAN. SEWER MANHOLE
PP	○	EXISTING POWER POLE
FH	○	EXISTING FIRE HYDRANT
---	---	EXISTING OVERHEAD ELECTRIC LINE
---	---	EXISTING WATER LINE
---	---	EXISTING SAN. SEWER LINE
---	---	PROPERTY LINE
---	---	EXISTING 1' CONTOUR
---	---	EXISTING 5' CONTOUR
---	---	PROPOSED 1' CONTOUR
---	---	PROPOSED 5' CONTOUR
---	---	PROPOSED DRAINAGE PATTERN
---	---	PROPOSED DRAINAGE DELINEATION
X	=	DRAINAGE AREA NUMBER
X.XX	=	DRAINAGE AREA (AC.)
X.XX	=	100-YR RUNOFF (CFS)

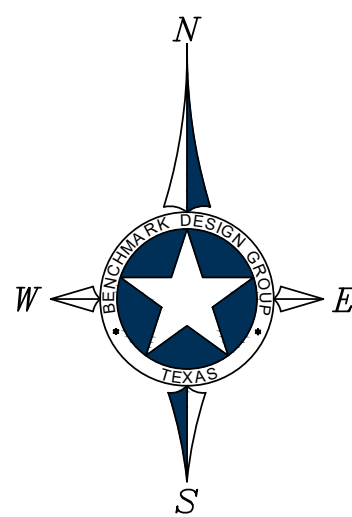


*** STOP! CALL BEFORE YOU DIG! ***

AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.

THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS		
1. These plans are subject to review and approval by all jurisdictions having authority.		
2. Contractor shall appropriately notify all relevant entities prior to digging on this project.		
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.		
4. The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK		
If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.		
5. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:		
Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		
Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.		



BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

PROPOSED DRAINAGE
AREA MAP



DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.

C-6B

DRAINAGE AREA SUMMARIES FOR TxDOT CULVERT ANALYSIS

EXISTING DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.67	Open C = 0.30	Commercial C = 0.78									
1		1.02	0.65	2.47	4.14	0.68	10	6.43	7.50	9.14	18.10	21.10	25.76
Sunset Ridge Plans DA O1			1.00		1.00	0.30	15	5.49	6.42	7.93	1.65	1.93	2.38
Sunset Ridge Plans DA O2					7.20	0.56	15	5.49	6.42	7.93	22.12	25.88	31.96
Sunset Ridge Plans DA U		0.80			0.80	0.67	15	5.49	6.42	7.93	2.84	3.44	4.25
Total Thru Culvert													64.35

Johnson County
Rainfall Intensity-Duration-Frequency Coefficients

Frequency	a	b	d
2-yr	0.810	50.7	9.0
5-yr	0.812	70.1	12.0
10-yr	0.805	80.3	13.0
25-yr	0.789	89.1	13.0
50-yr	0.787	101.3	14.0
100-yr	0.783	113.8	15.0

$$I = \frac{b}{(Tc + d)^a}$$

TXDOT CULVERT DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.67	Open C = 0.30	Commercial C = 0.78									
1	0.02				1.40	0.74	10	6.43	7.50	9.14	7.77	9.48	15.84
DA 2-4 (Pond Discharge)	0.41	1.02	0.12	1.19	2.74	0.74	10	6.43	7.50	9.14	11.15	13.61	15.84
Sunset Ridge Plans DA O1			1.00		1.00	0.30	15	5.49	6.42	7.93	1.65	1.93	2.38
Sunset Ridge Plans DA O2					7.20	0.56	15	5.49	6.42	7.93	22.12	25.88	31.96
Sunset Ridge Plans DA U		0.80			0.80	0.67	15	5.49	6.42	7.93	2.84	3.44	4.25
Total Thru Culvert													63.91

Johnson County
Rainfall Intensity-Duration-Frequency Coefficients

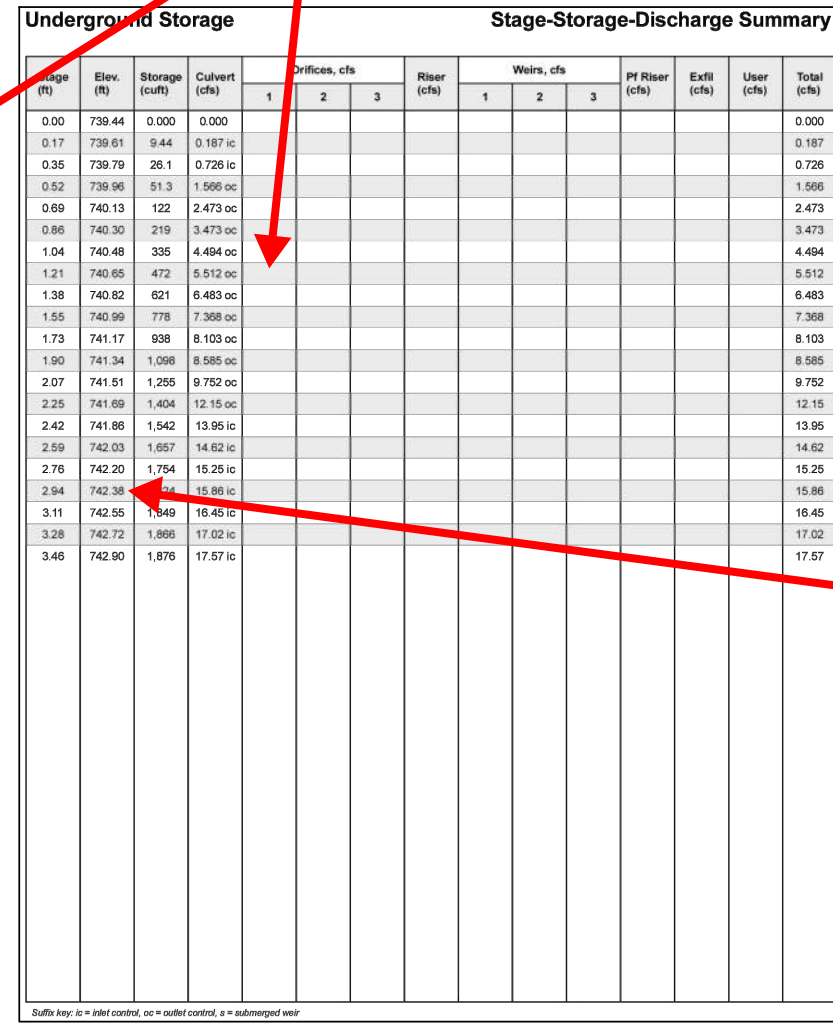
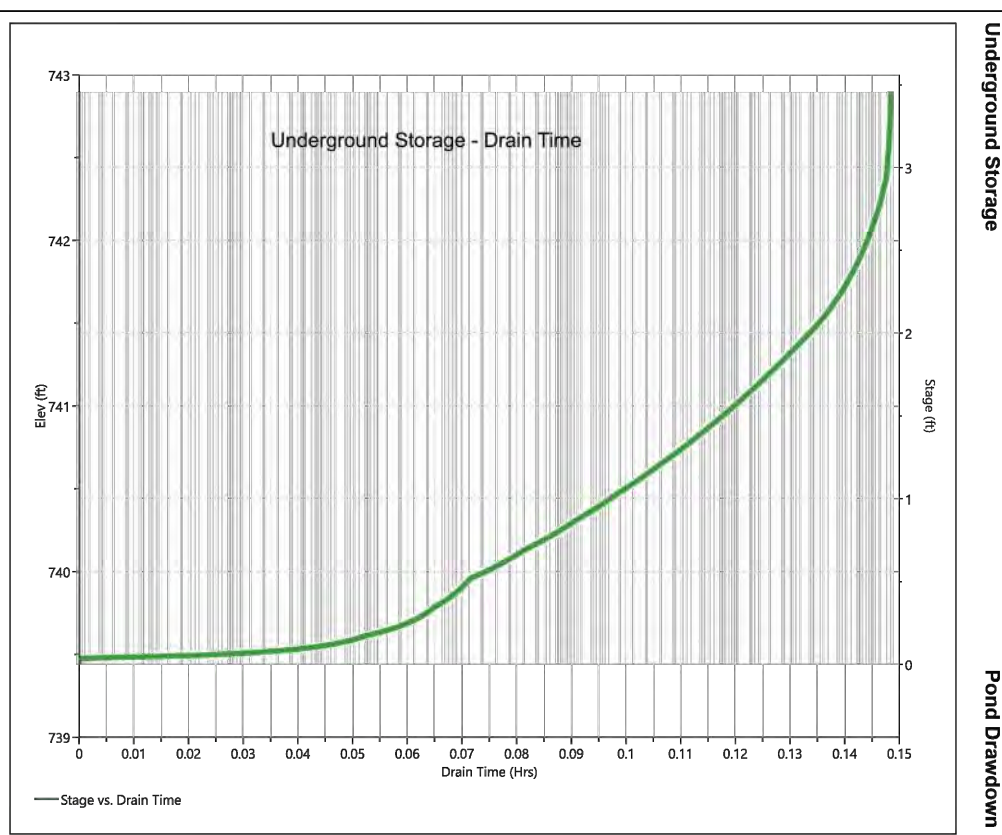
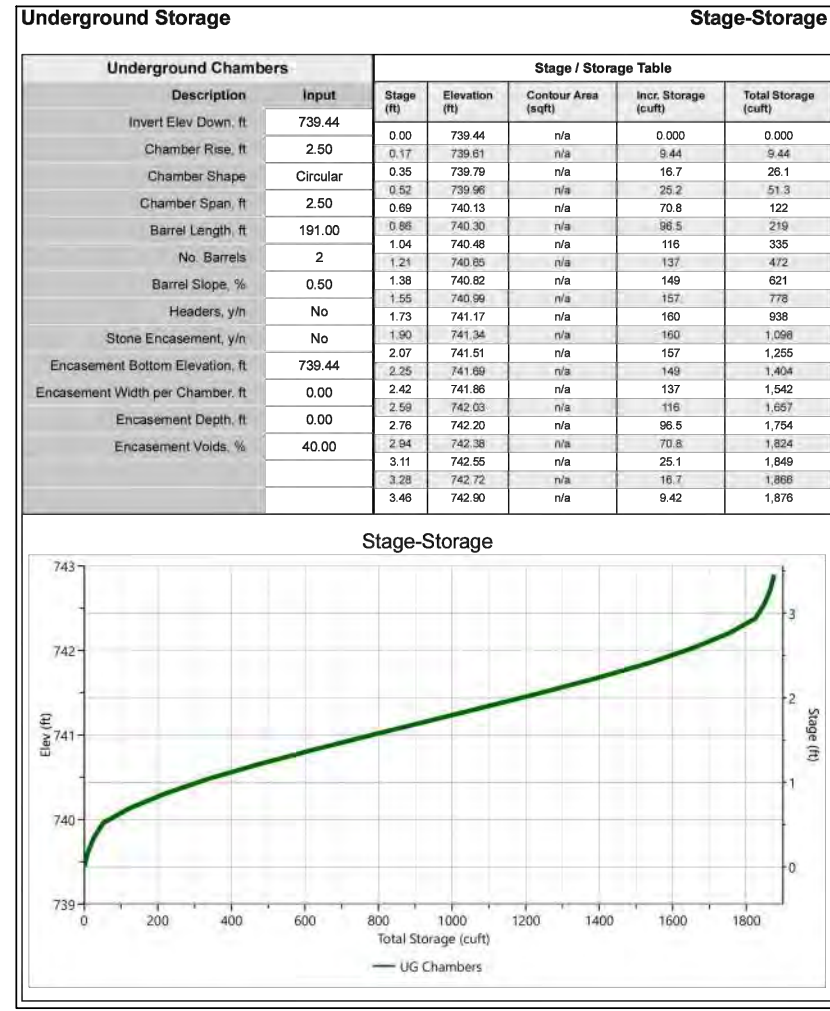
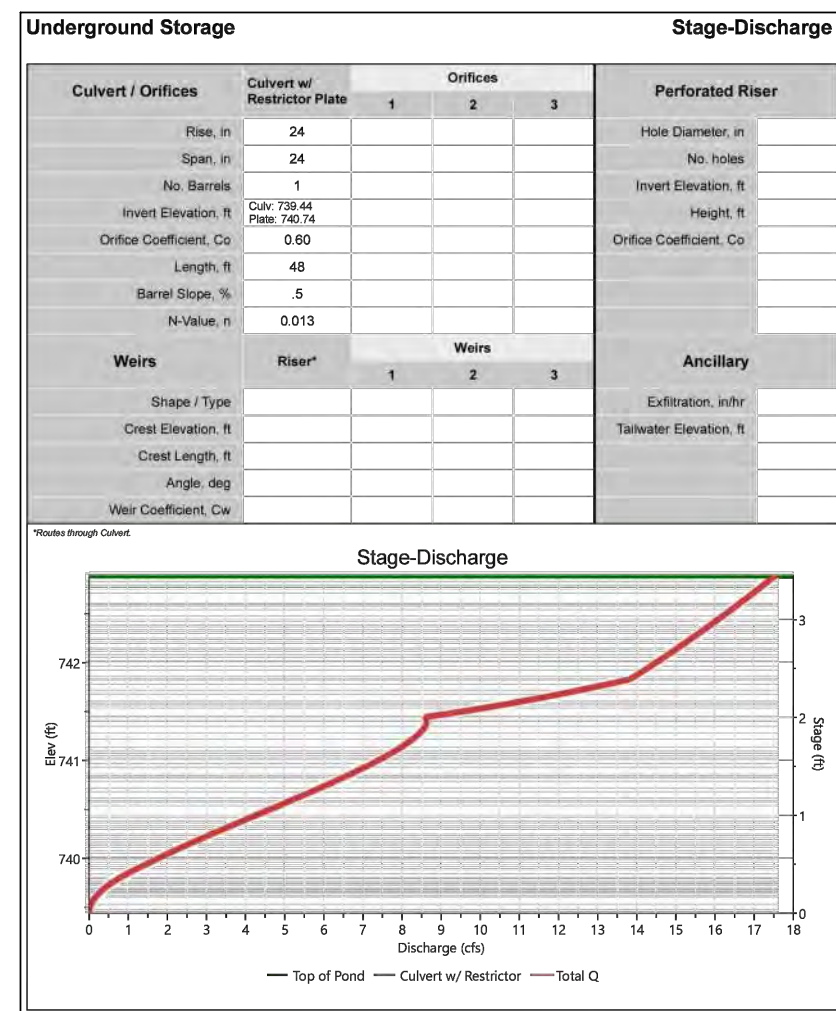
Frequency	a	b	d
2-yr	0.810	50.7	9.0
5-yr	0.812	70.1	12.0
10-yr	0.805	80.3	13.0
25-yr	0.789	89.1	13.0
50-yr	0.787	101.3	14.0
100-yr	0.783	113.8	15.0

$$I = \frac{b}{(Tc + d)^a}$$

UNDERGROUND STORAGE
DISCHARGE RATES

UNDERGROUND STORAGE SUMMARY

Identify which stage is the 100-year storm event



Per Hydrograph 100-yr Summary table, peak flow of 15.84 cfs results in pond elevation of 742.51 ft. Per the Stage-Storage-Discharge Summary, a peak flow of 15.84 cfs should occur at a pond elevation less than 742.38 ft (15.86 cfs).

DETENTION POND
PEAK DISCHARGE COMPARISON

Event (yr)	Existing Discharge (cfs)	Pond Discharge (cfs)	Change in Q (cfs)
2	13.16	12.01	-1.15
5	16.07	14.22	-1.85
10	18.10	17.14	-0.96
25	21.10	20.60	-0.50
100	25.76	24.37	-1.39

Stormwater routing calculations were performed using Hydrology Studio 2020 v 3.0.0.29 computer software program using the Modified Rational method.

Where is the proposed detention pond? Clearly identify and label on plans and includes cross sections.

Is all runoff from DA-1, DA-2, DA-3, and DA-4 being routed to the detention pond?

DRAINAGE AREA SUMMARIES FOR POND ROUTING
AND STORMSEWER CALCULATIONS

EXISTING DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.67	Open C = 0.30	Commercial C = 0.78									
1		1.02	0.65	2.47	4.14	0.68	10	6.43	7.50	9.14	18.10	21.10	25.76
Total Discharge													25.76

Johnson County
Rainfall Intensity-Duration-Frequency Coefficients

Frequency	a	b	d
2-yr	0.810	50.7	9.0
5-yr	0.812	70.1	12.0
10-yr	0.805	80.3	13.0
25-yr	0.789	89.1	13.0
50-yr	0.787	101.3	14.0
100-yr	0.783	113.8	15.0

$$I = \frac{b}{(Tc + d)^a}$$

PROPOSED DRAINAGE AREA CALCULATIONS

Drainage Area No.	Acres Drained				Total Area (ac.)	Weighted Runoff Coefficient	Time of Concentration (min)	I(10) (in/hr)	I(25) (in/hr)	I(100) (in/hr)	Q(10) (cfs)	Q(25) (cfs)	Q(100) (cfs)
	Pavement C = 0.90	Residential C = 0.67	Open C = 0.30	Commercial C = 0.78									
1	0.02				1.40	0.74	10	6.43	7.50	9.14	7.77	9.48	15.84
2	0.31	0.53	0.05	0.04	0.93	0.73	10	6.43	7.50	9.14	4.36	5.09	6.21
3		0.49	0.06	0.69	1.24	0.71	10	6.43	7.50	9.14	5.66	6.60	8.06
4	0.10		0.01	0.46	0.57	0.79	10	6.43	7.50	9.14	2.89	3.38	4.12
Total Discharge													27.87

Johnson County
Rainfall Intensity-Duration-Frequency Coefficients

Frequency	a	b	d
2-yr	0.810	50.7	9.0
5-yr	0.812	70.1	12.0
10-yr	0.805	80.3	13.0
25-yr	0.789	89.1	13.0
50-yr	0.787	101.3	14.0
100-yr	0.783	113.8	15.0

$$I = \frac{b}{(Tc + d)^a}$$

TYPE-Y INLETS

Inlet #	D.A. No.	Q (cfs)	CO (cfs)	Qa (cfs)	Allowable Head (ft)	Lr 90% eff. (ft)	La (ft)	Actual Head (ft)	% Full Lr/La	Capacity 90% eff. (cfs)	Remarks
TY-1	3	8.06	0.00	8.06	1.00	2.90	14	0.32	21	38.90	3.5'x3.5' TYPE-Y INLET

SAG CURB INLETS

Inlet #	D.A. No.	Q (cfs)	CO (cfs)	Qa (cfs)	Allowable Head (ft)	Lr 90% eff. (ft)	La (ft)	Actual Head (ft)	% Full Lr/La	Capacity 90% eff. (cfs)	Remarks
CI-1	4	4.12	0.00	4.12	0.92	1.68	10	0.26	17	24.52	10' CURB INLET
CI-2	2	6.21	0.00	6.21	0.92	2.53	10	0.34	25	24.52	10' CURB INLET

BASED ON WEIR EQUATION $Q = 3.087L^{1.8}$

Hydrograph 2-yr Summary

Event (yr)	Discharge (cfs)	Pond Discharge (cfs)	Change in Q (cfs)
2	13.16	12.01	-1.15
5	16.07	14.22	-1.85
10	18.10	17.14	-0.96
25	21.10	20.60	-0.50
100	25.76	24.37	-1.39

Hydrograph 5-yr Summary

Event (yr)	Discharge (cfs)	Pond Discharge (cfs)	Change in Q (cfs)
5	16.07	14.22	-1.85
10	18.10	17.14	-0.96
25	21.10	20.60	-0.50
100	25.76	24.37	-1.39

Hydrograph 10-yr Summary

Event (yr)	Discharge (cfs)	Pond Discharge (cfs)	Change in Q (cfs)
10	18.10	17.14	-0.96
25	21.10	20.60	-0.50
100	25.76	24.37	-1.39

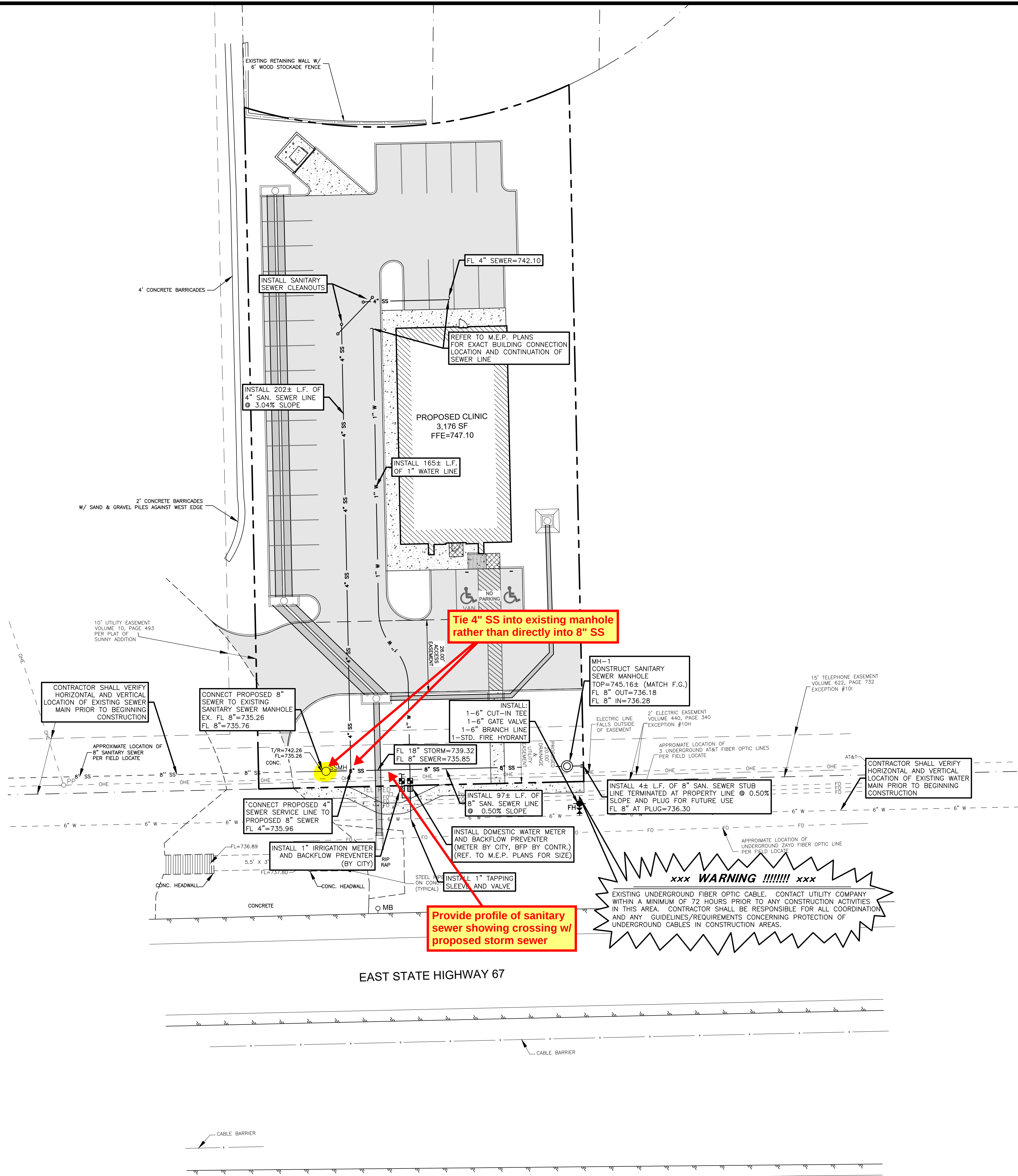
Hydrograph 25-yr Summary

Event (yr)	Discharge (cfs)	Pond Discharge (cfs)	Change in Q (cfs)
25	21.10	20.60	-0.50
100	25.76	24.37	-1.39

Hydrograph 100-yr Summary

Event (yr)	Discharge (cfs)	Pond Discharge (cfs)	Change in Q (cfs)
100	25.76	24.37	-1.39

F:\Projects\2023\035 Xpress Wellness - Alvarado.dwg 2023.035.dwg, 1/3/2024 11:00:49 AM, Andrew



UTILITY CONSTRUCTION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALKS, DRIVEWAYS, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA. CONTRACTOR SHALL, ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES.
- CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. REFER TO OWNER FOR EXACT AREAS, DETAILS, AND SPECS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REFER TO LANDSCAPING/ARCHITECTURAL PLANS AND/OR OWNER FOR LOCATIONS OF PROPOSED LIGHT STANDARDS AND UTILITY SLEEVING.
- REFER TO M.E.P. PLANS FOR ELECTRIC, GAS, TELEPHONE, CABLE AND ANY OTHER NECESSARY UTILITIES SERVICES, OTHER THAN WATER AND SANITARY SEWER.

LEGEND

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
- - -	EXISTING WATER LINE
- - -	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
WV	PROPOSED WATER VALVE
WM	PROPOSED WATER METER
FH	PROPOSED FIRE HYDRANT
---	PROPOSED WATER LINE
---	PROPOSED SAN. SEWER LINE



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.
THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

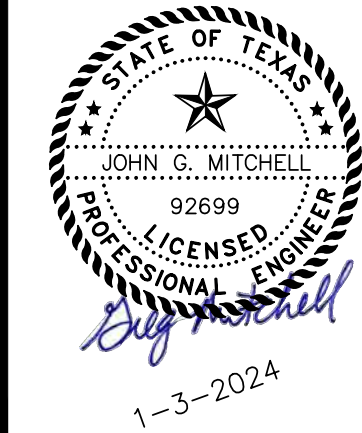
NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

ON-SITE UTILITY PLAN



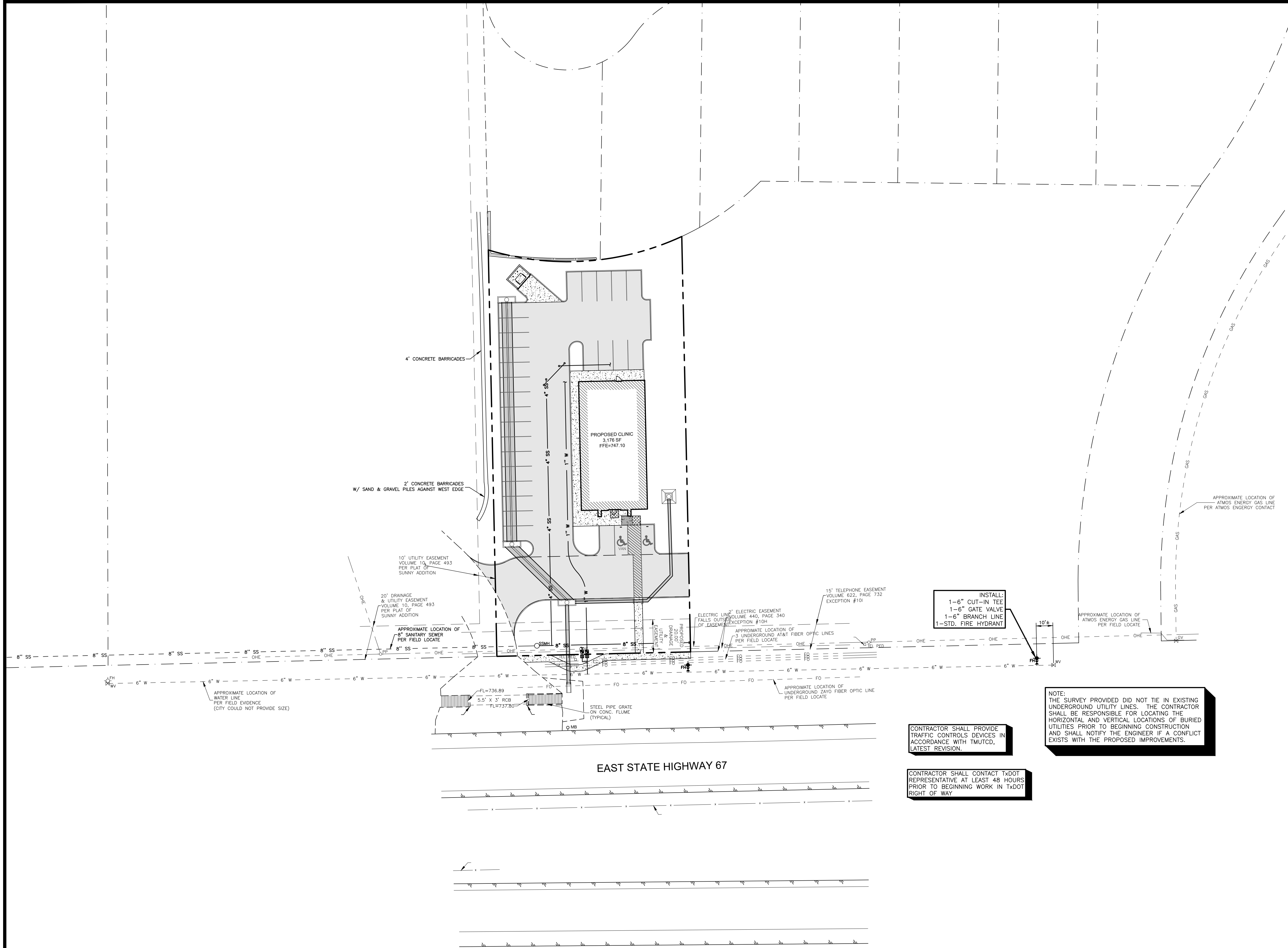
DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.
C-8A



UTILITY CONSTRUCTION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, SIDEWALKS, DRIVEWAYS, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONTRACTOR SHALL, ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES.
- CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
- ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE FOUR (4) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V. REFER TO OWNER FOR EXACT AREAS, DETAILS, AND SPECS.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, TELEPHONE COMPANY AND GAS COMPANY FOR ACTUAL ROUTING OF POWER AND SERVICES TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REFER TO LANDSCAPING/ARCHITECTURAL PLANS AND/OR OWNER FOR LOCATIONS OF PROPOSED LIGHT STANDARDS AND UTILITY SLEEVING.
- REFER TO M.E.P. PLANS FOR ELECTRIC, GAS, TELEPHONE, CABLE AND ANY OTHER NECESSARY UTILITIES SERVICES, OTHER THAN WATER AND SANITARY SEWER.

LEGEND

TEL PED □	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV ✕	EXISTING WATER VALVE
WM ⊞	EXISTING WATER METER
MH ○	EXISTING SAN. SEWER MANHOLE
PP -○-	EXISTING POWER POLE
FH ○	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
WV ✕	PROPOSED WATER VALVE
WM ⊞	PROPOSED WATER METER
FH ○	PROPOSED FIRE HYDRANT
---	PROPOSED WATER LINE
---	PROPOSED SAN. SEWER LINE



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.
THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK.
If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED OVERLAP	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV./ CITY COMMENTS	1-3-2024	AES

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

OFF-SITE UTILITY PLAN



DRAWN BY: CCB

CHECKED BY: JGM

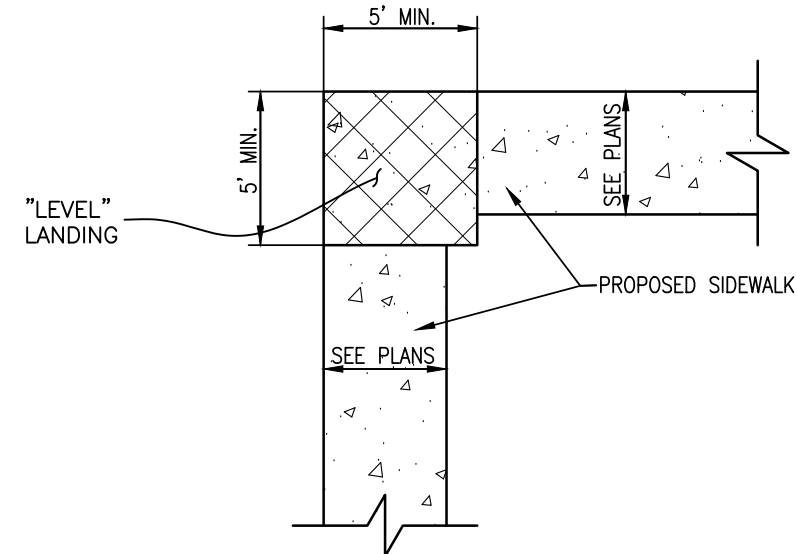
DATE: MAY, 2023

JOB NO: 2023.035

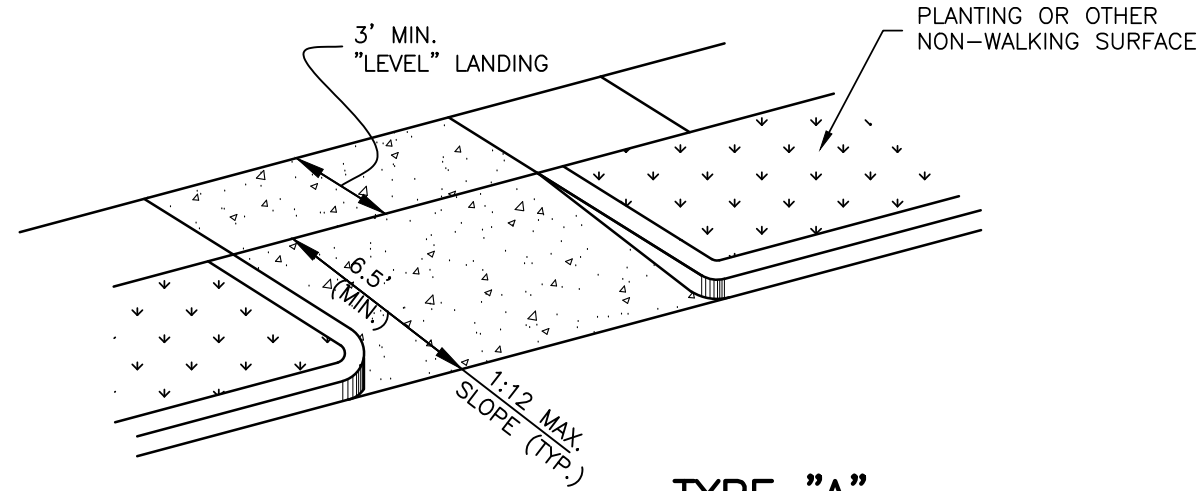
SHEET NO.

C-8B

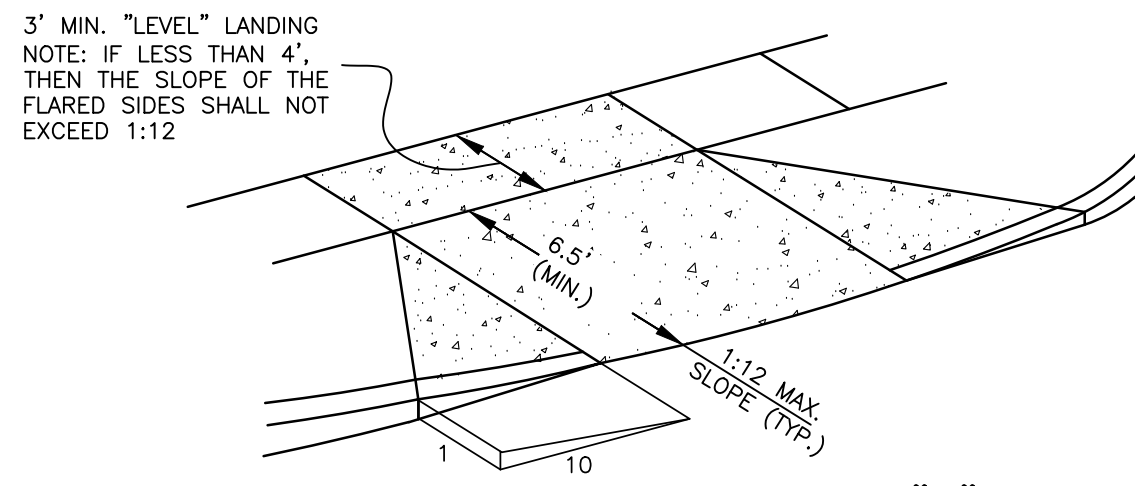
- NOTES**
1. THE LOWER LANDING SHALL BE FINISHED WITH ARMOR-TILE TRUNCATED DOME TILES OR APPROVED EQUAL AT PUBLIC R.O.W. ONLY.
 2. THE BOTTOM OF THE RAMP SHALL HAVE A 1/2" LIP OF 45°.
 3. CONSTRUCT PER T.D.L.R. STANDARDS.



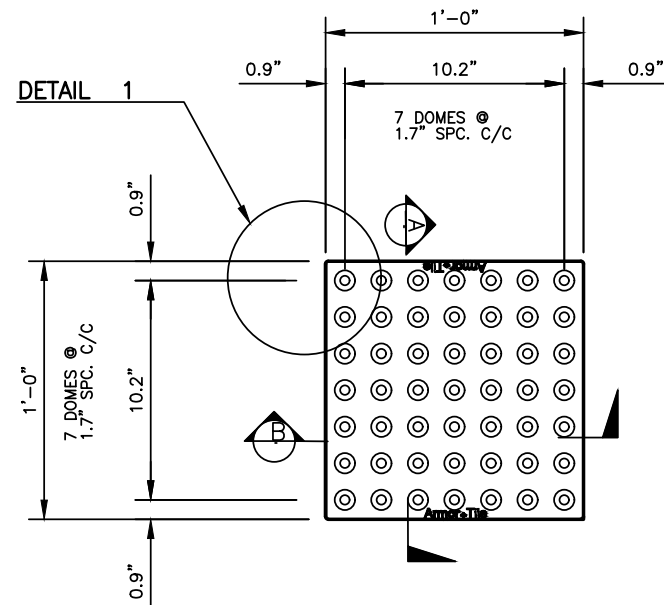
**CHANGE IN DIRECTION
ALONG A.D.A. ROUTE**
N.T.S.



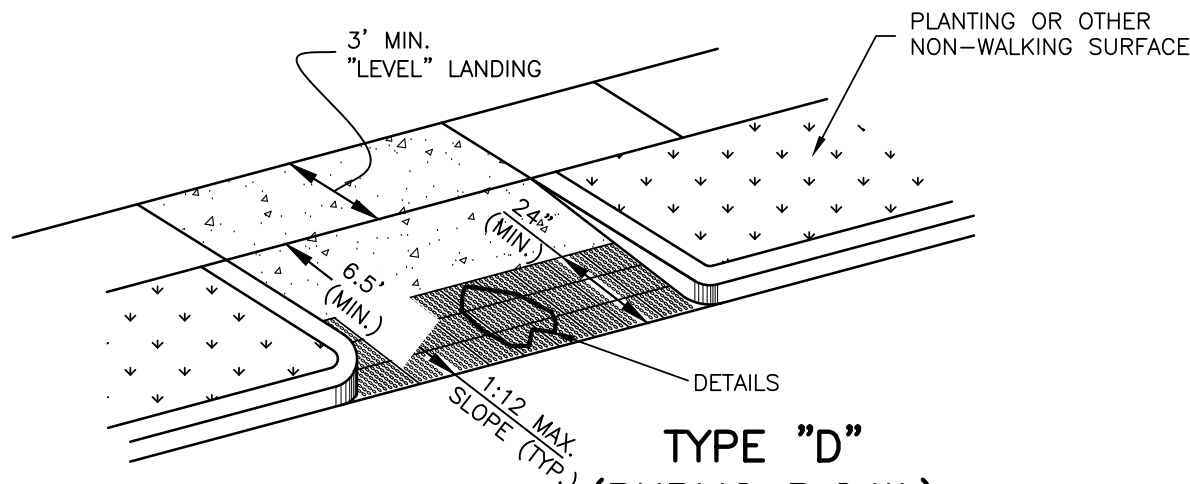
**TYPE "A"
(PRIVATE PROPERTY)**
N.T.S.



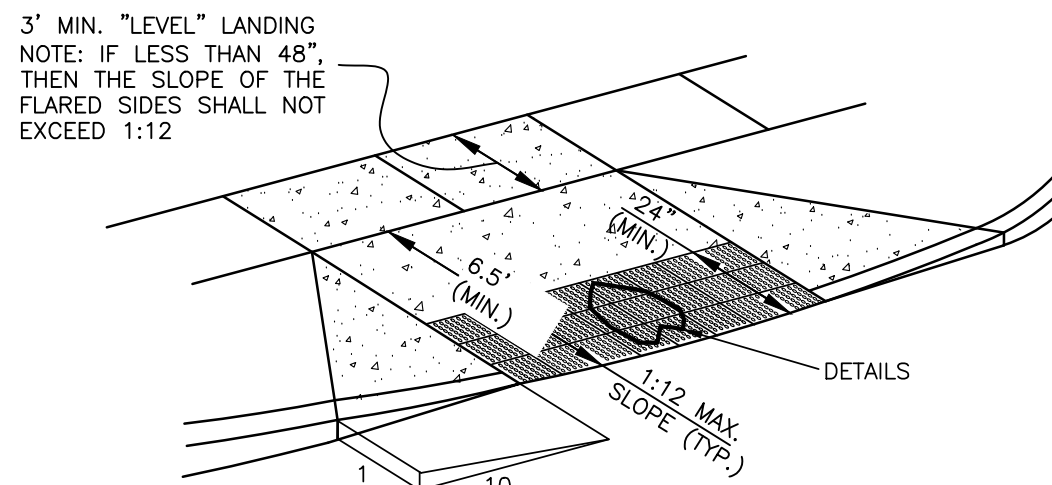
**TYPE "B"
(PRIVATE PROPERTY)**
N.T.S.



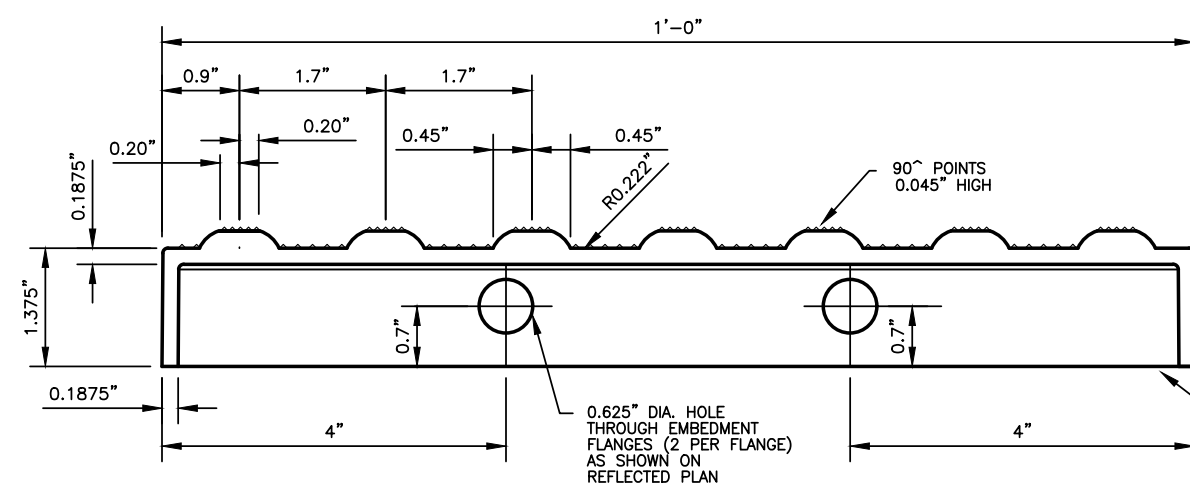
**TYPE "C"
(PRIVATE PROPERTY)**
N.T.S.



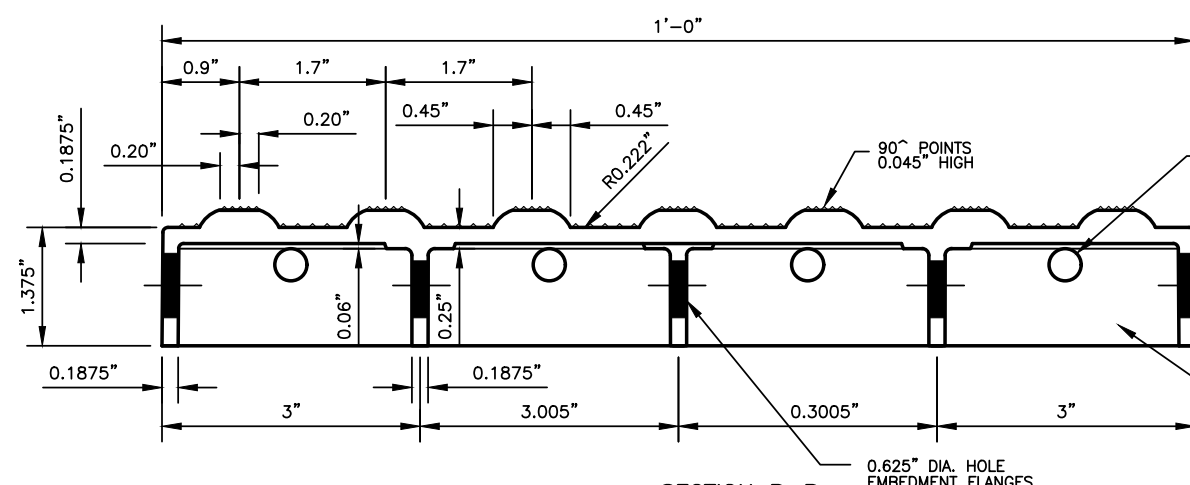
**TYPE "D"
(PUBLIC R.O.W.)**
N.T.S.



**TYPE "E"
(PUBLIC R.O.W.)**
N.T.S.

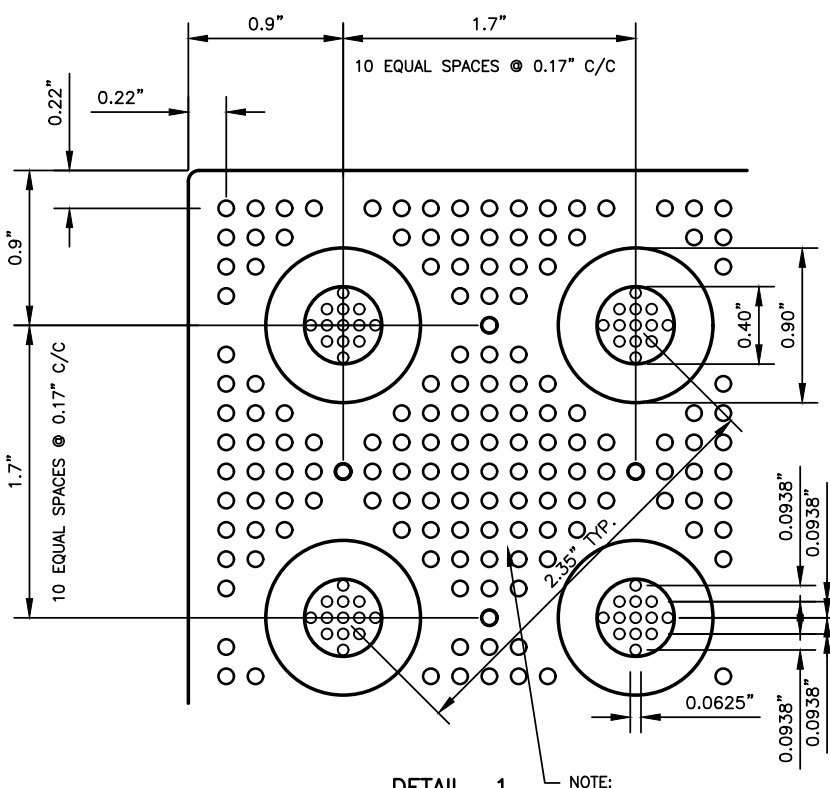


**TYPE "A"
(PRIVATE PROPERTY)**
N.T.S.

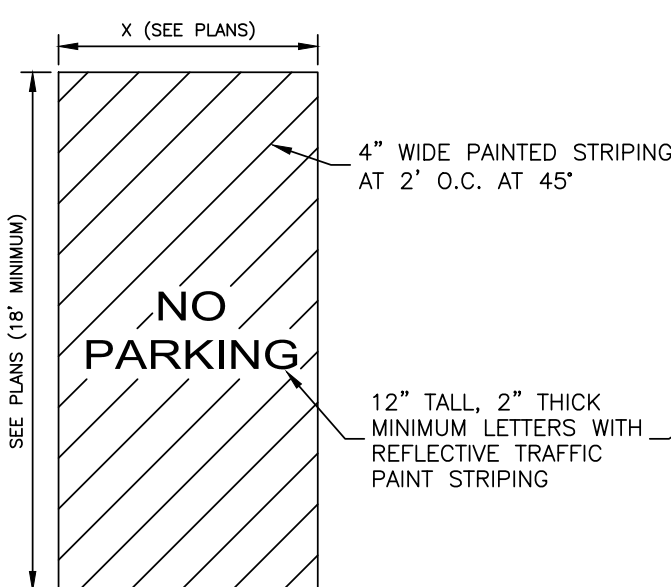


**TYPE "B"
(PRIVATE PROPERTY)**
N.T.S.

SIDEWALK RAMP DETAIL
N.T.S.



**TYPE "C"
(PRIVATE PROPERTY)**
N.T.S.



**TYPE "D"
(PUBLIC R.O.W.)**
N.T.S.

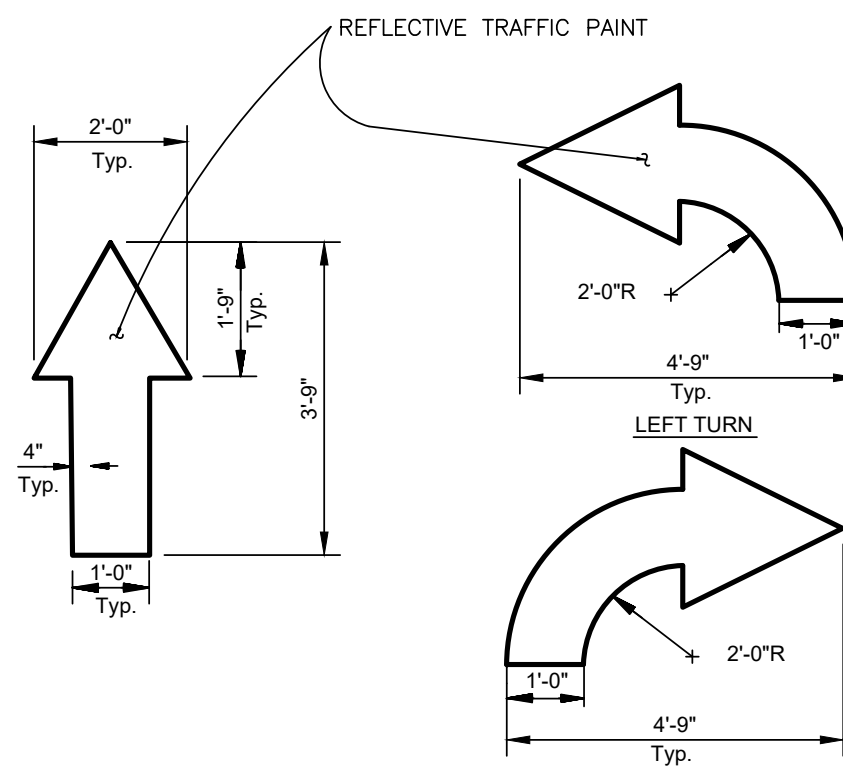
STANDARD ACCESS AISLE DETAIL
N.T.S.

- * USE DETAIL A UNLESS "X" IS LESS THAN 8'.
WHERE X IS LESS THAN 8" USE DETAIL B.

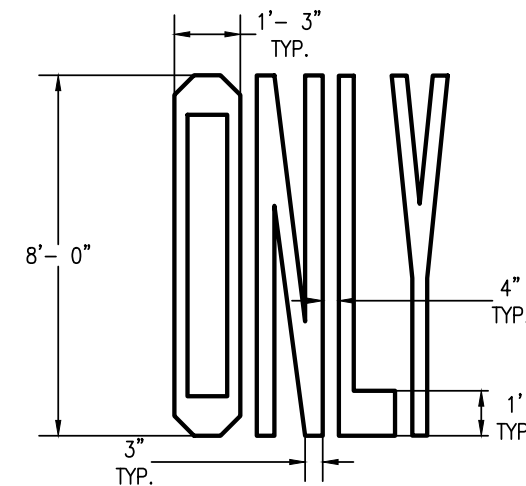
ALL PAVEMENT MARKING PAINT SHALL BE SHERWIN WILLIAMS "PROMAR TRAFFIC MARKING", WHITE ON ASPHALT, YELLOW ON CONCRETE. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN, DRY SURFACE USING TEMPLATE OR STRIPING MACHINE.



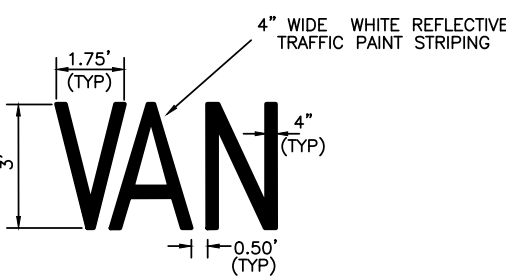
CROSSWALK DETAIL
SCALE: NTS



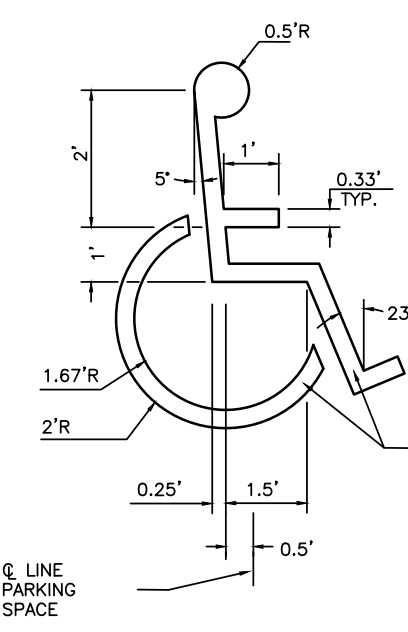
TRAFFIC FLOW ARROW
N.T.S.



"VAN" PAINTING DETAIL
SCALE: NTS

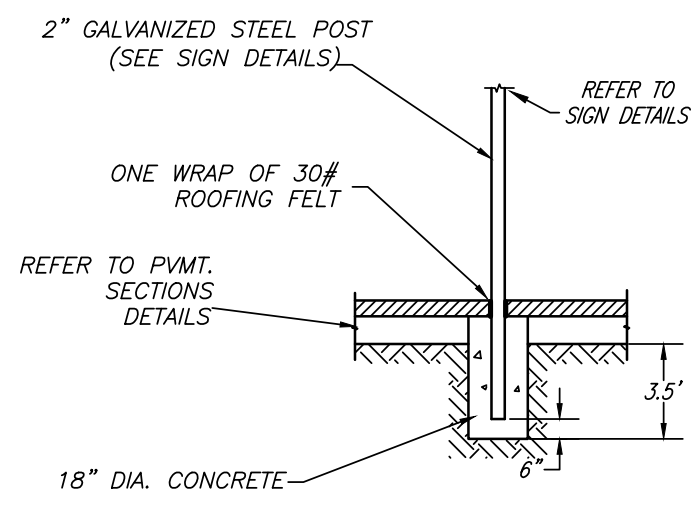


"VAN" PAINTING DETAIL
SCALE: NTS

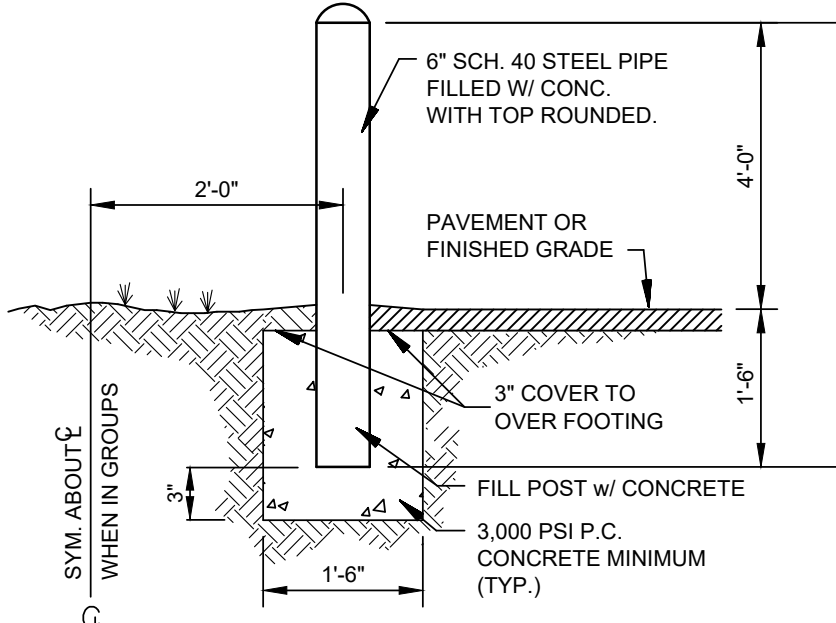


**ACCESSIBLE
PARKING SPACE
SYMBOL**
N.T.S.

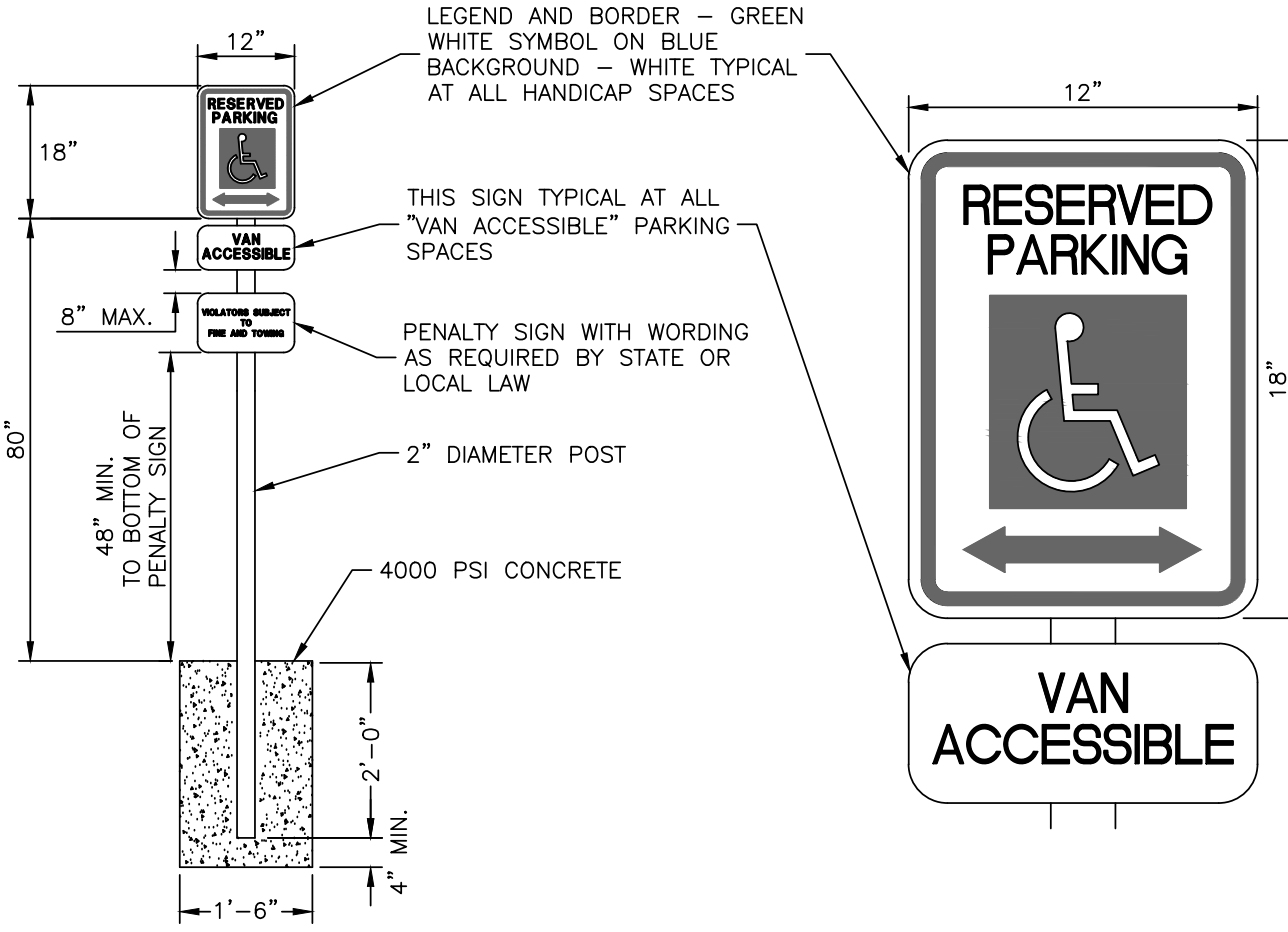
- 1) ALL PROPOSED SIGNS SHALL CONFORM TO THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION'S "UNIFORM TRAFFIC CONTROL DEVICES".
2) ALL SIGNS SHALL BE ROTATED AS SHOWN ON THE SITE PLAN OR AS SHOWN ON THE CONSTRUCTION SEQUENCING PLANS.



PARKING LOT SIGN BASE DETAIL
SCALE: NTS



PIPE BOLLARD
N.T.S.



HANDICAP PARKING SIGN DETAIL
N.T.S.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED SUBMITTAL	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV./ CITY COMMENTS	1-3-2024	AES

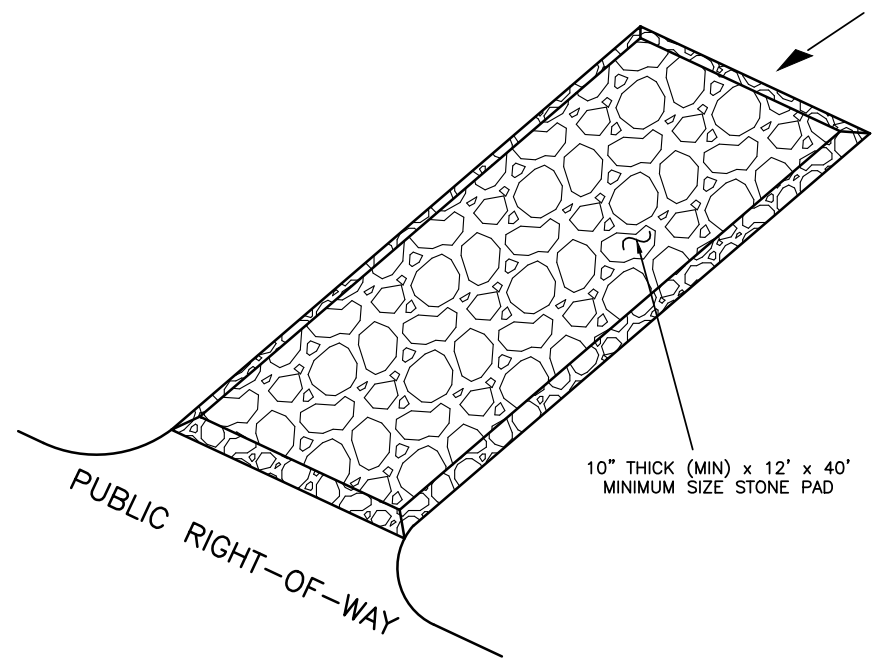
**BENCHMARK
DESIGN GROUP**
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX



DRAWN BY:	CCB
CHECKED BY:	JGM
DATE:	MAY, 2023
JOB NO:	2023.035
SHEET NO.	C-9

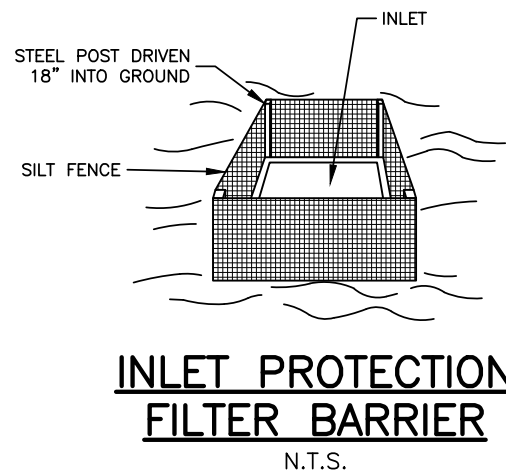


TEMPORARY CONSTRUCTION EXIT POINT DETAIL

CONSTRUCTION NOTES:

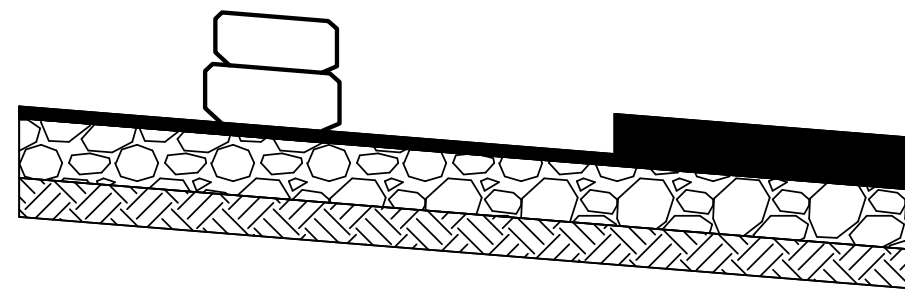
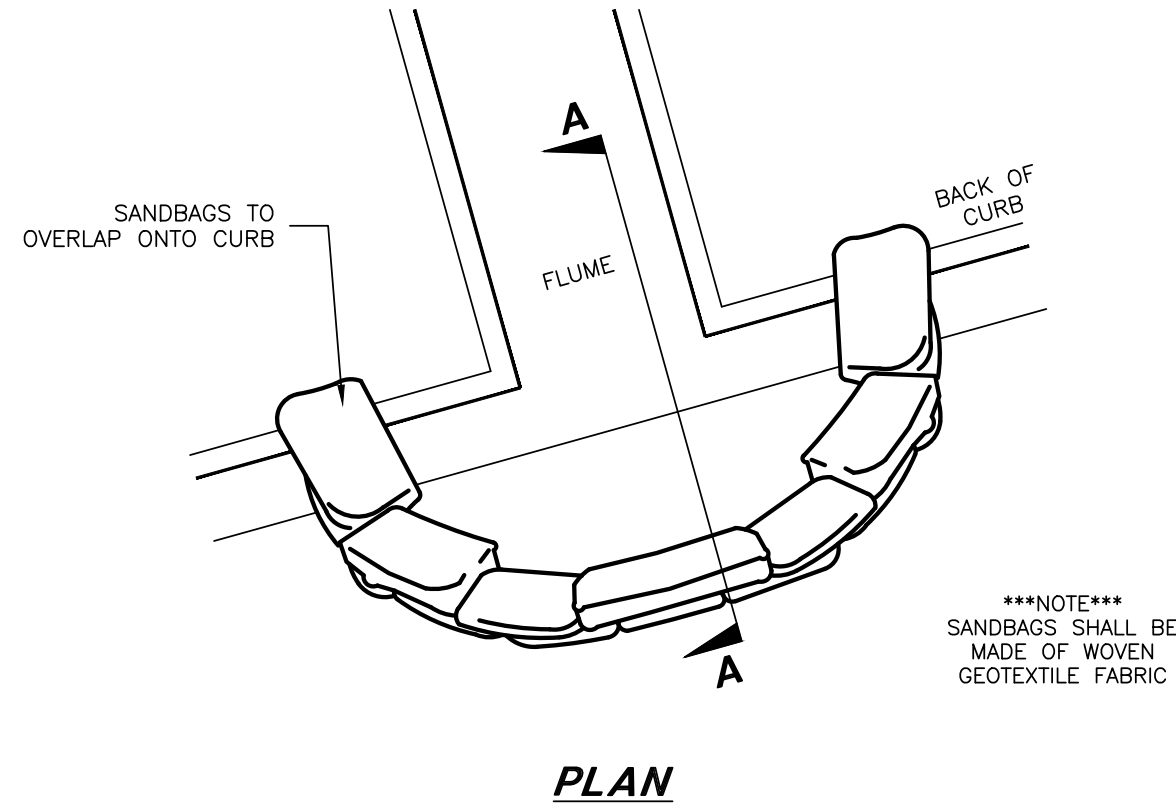
- 1) GRADATION OF ROCK

SIZE OF ROCK U.S.	% SMALLER BY WEIGHT
200	100
50	35-65
3	0
- 2) THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE DRESSING WITH ADDITIONAL STONE AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 3) WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY. WASHING SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT CONTROLLING STRUCTURE. USE SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS TO PREVENT SEDIMENT FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE.
- 4) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.



INLET PROTECTION FILTER BARRIER

N.T.S.



SECTION "A-A"

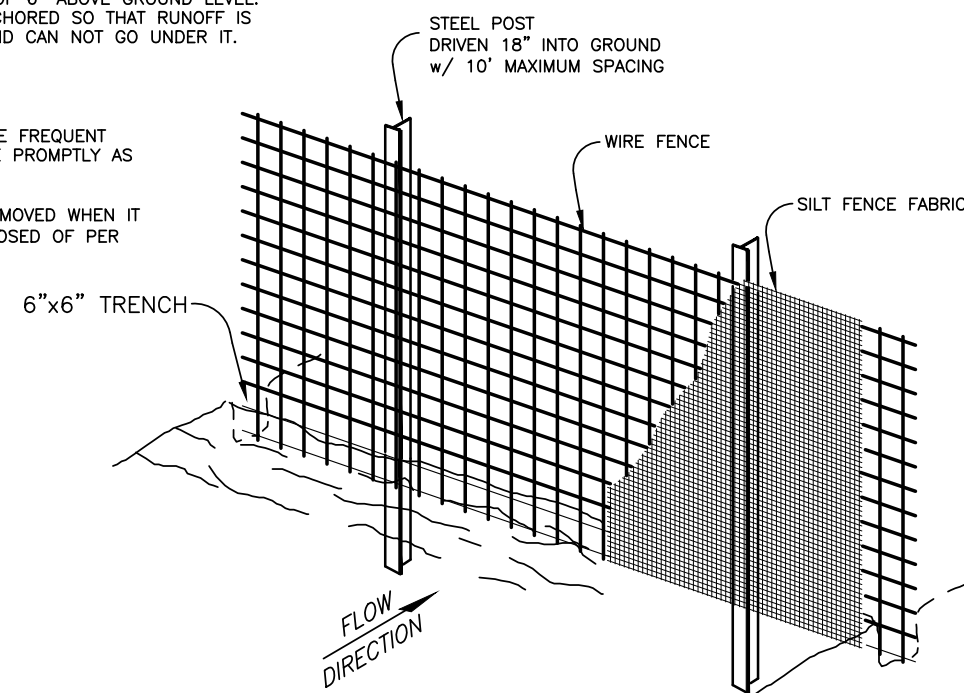
FLUME SEDIMENT BARRIER

STEPS FOR CONSTRUCTION:

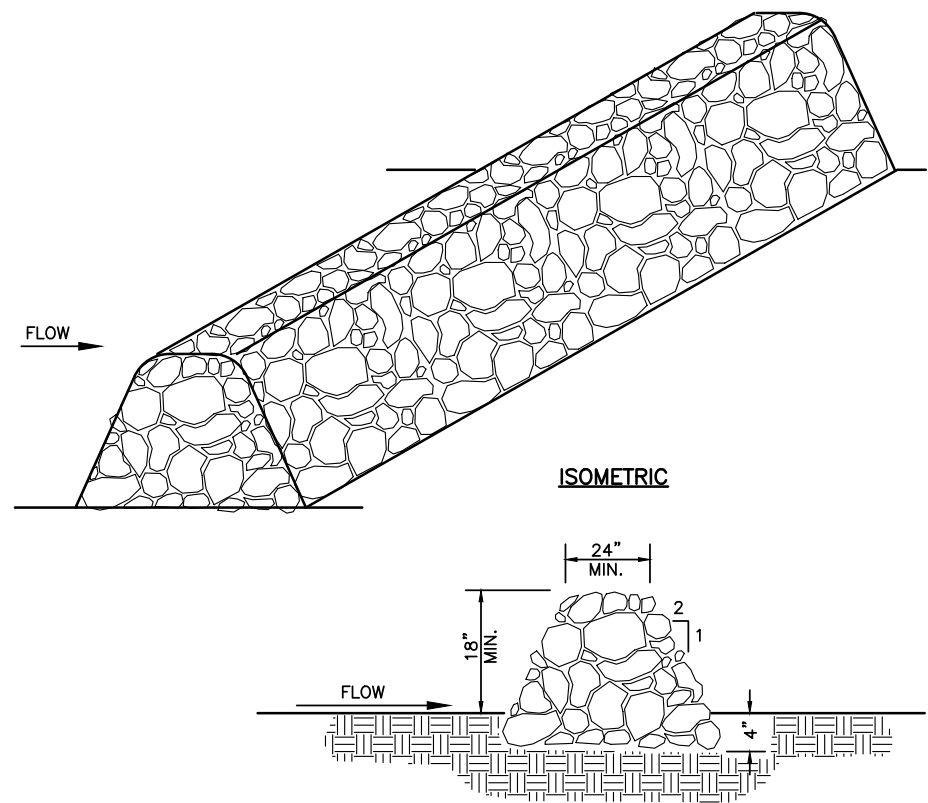
- 1) DRIVE POST 18" INTO GROUND AND EXCAVATE A 6"x6" TRENCH UP HILL ALONG THE LINE OF POST.
- 2) ATTACH WIRE FENCE TO THE POST AND EXTEND BOTTOM OF FENCE 6" INTO THE EXCAVATED TRENCH.
- 3) ATTACH THE SILT FABRIC TO THE WIRE FENCE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
- 4) BACKFILL THE TRENCH WITH SOIL & COMPACT OR PLACE WASHED STONE TO THE HEIGHT OF 6" ABOVE GROUND LEVEL. BOTTOM OF FENCE MUST BE ANCHORED SO THAT RUNOFF IS FORCED THROUGH THE FENCE AND CAN NOT GO UNDER IT.

INSPECTION & MAINTENANCE:

- 1) INSPECTION OF FENCES SHALL BE FREQUENT AND REPAIR OR REPLACEMENT MADE PROMPTLY AS NEEDED.
- 2) ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF PER OWNER/ENGINEER.

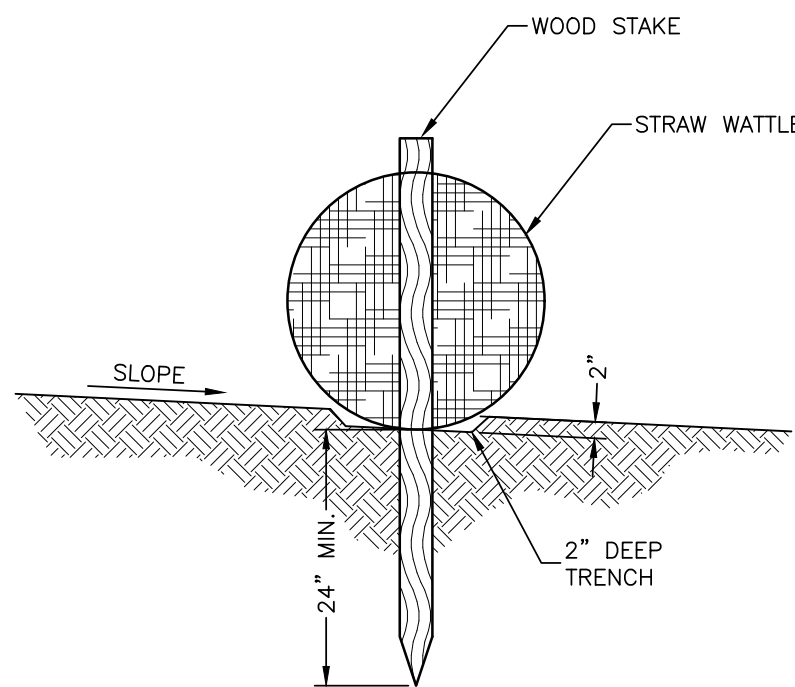


SILT FENCE DETAIL



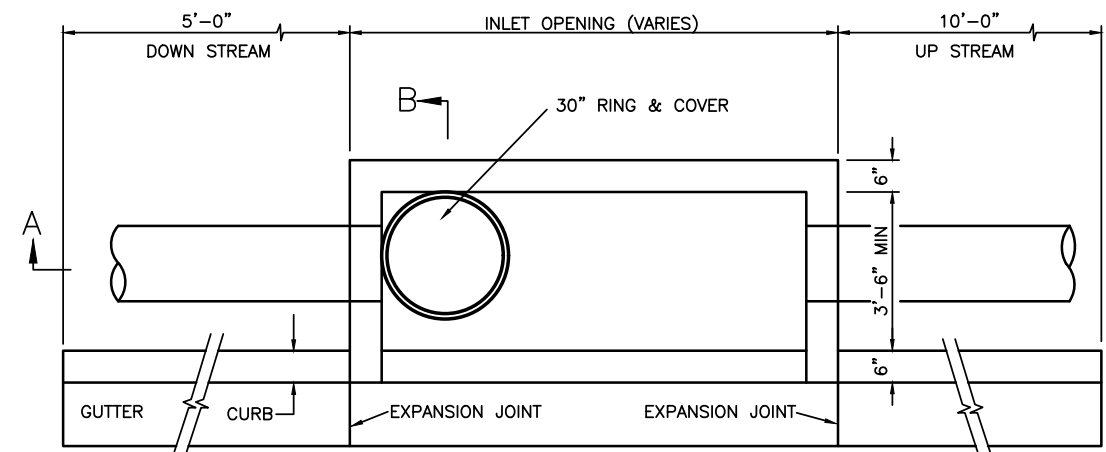
ROCK BERM DETAILS

1. USE ONLY OPEN-GRADED ROCK, WITH MOST OF THE FINES REMOVED.
2. STONE SHALL BE CRUSHED, MIN. 3" DIAMETER, MAX. 1 CU. FT. IN VOLUME.
3. THE ROCK BERM SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF 4" INCHES.
4. INSPECT BERM AFTER EACH RAIN. REPLACE STONE WHEN THE STRUCTURE FAILS TO SERVE ITS PURPOSE DUE TO SILT ACCUMULATION, WASHOUT OR DAMAGE.
5. REMOVE SILT WHEN IT REACHES A DEPTH OF 12" INCHES OR ONE-THIRD OF THE HEIGHT OF THE BERM, WHICHEVER IS LESS. DISPOSE OF SILT IN APPROVED LOCATIONS.
6. REMOVE BERM ONLY WHEN SITE IS COMPLETELY STABILIZED.

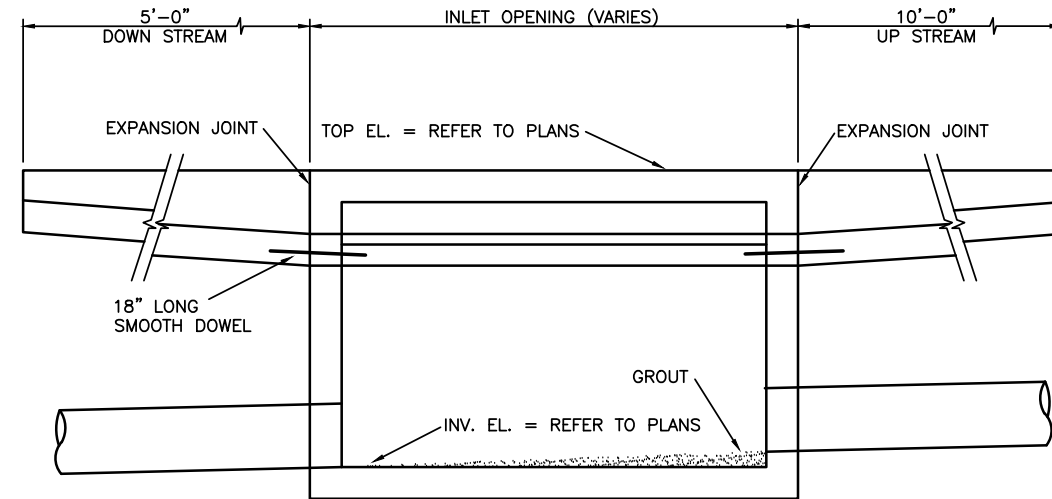


STRAW WATTLE DETAIL

N.T.S.

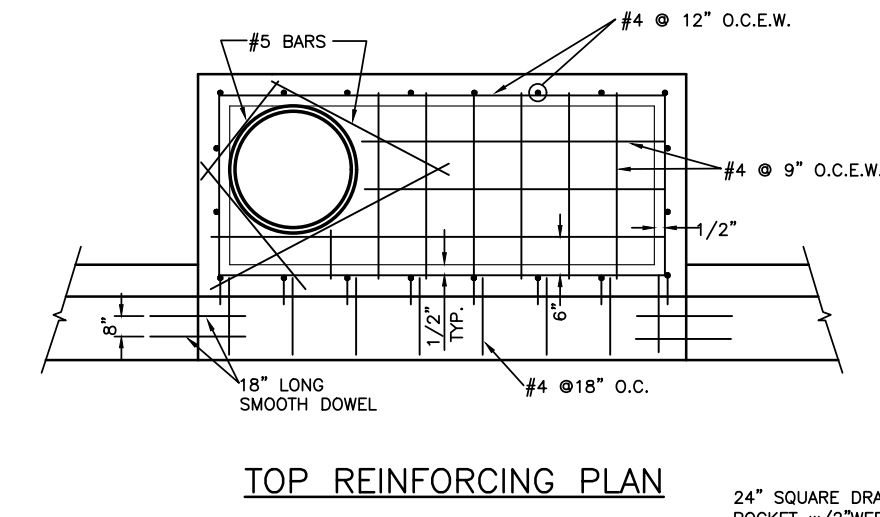


PLAN

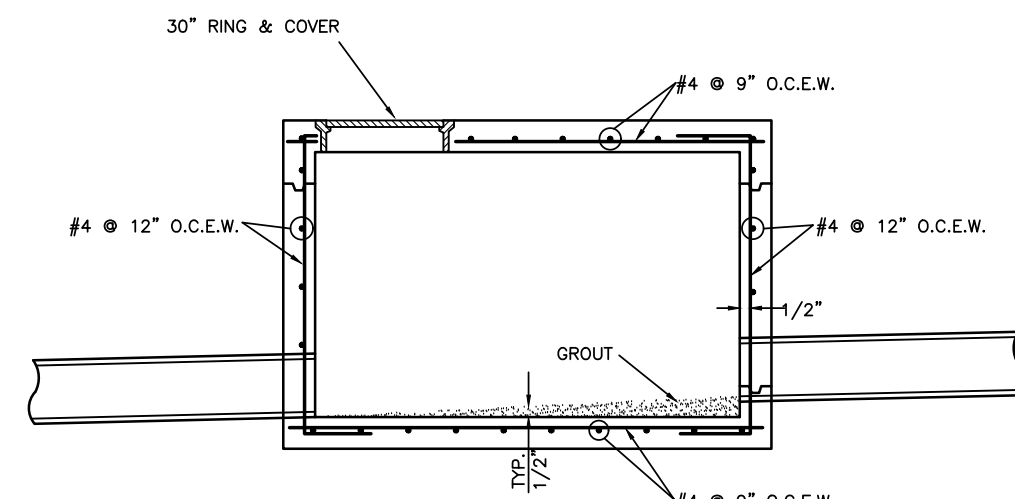


PROFILE

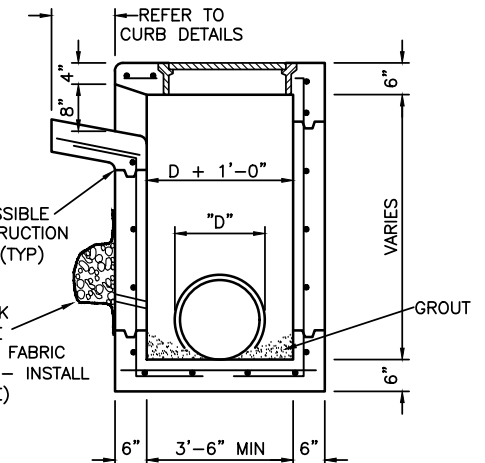
CURB INLET DETAILS



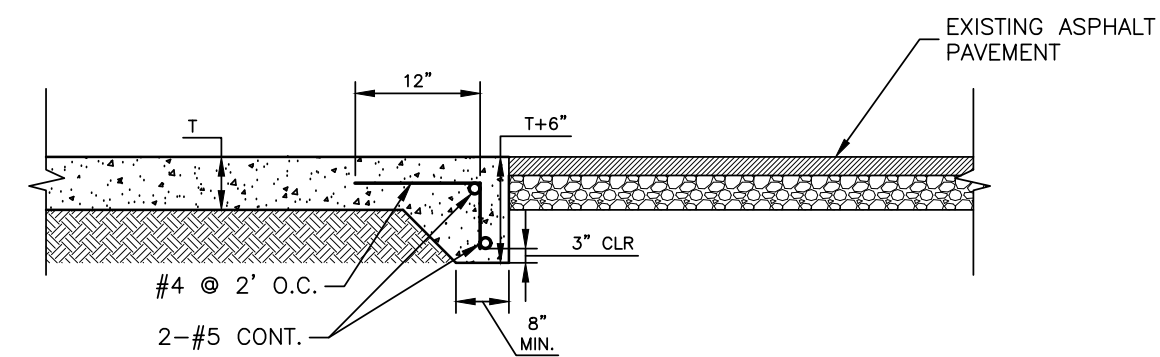
TOP REINFORCING PLAN



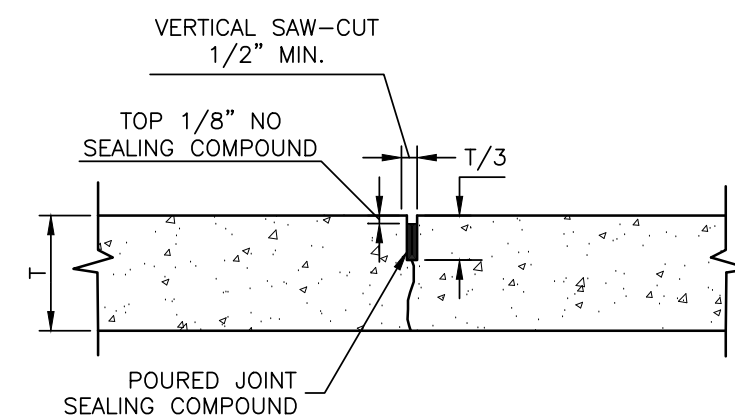
SECTION "A-A"



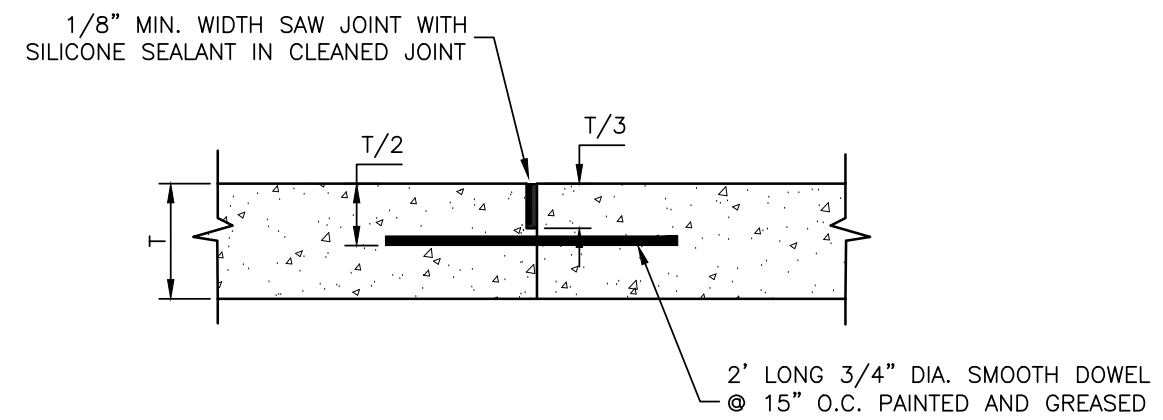
SECTION "B-B"



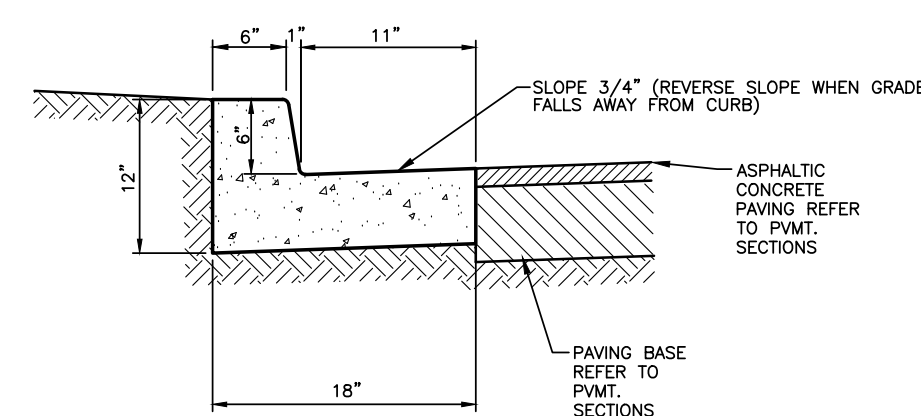
THICKENED CONCRETE EDGE DETAIL



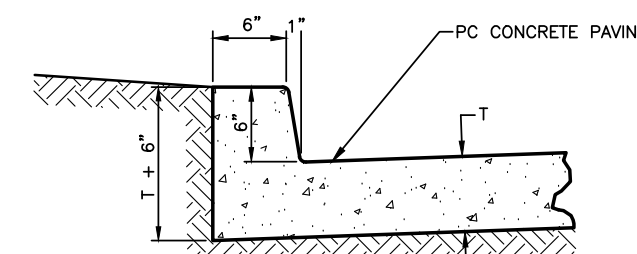
CONTRACTION JOINT



CONSTRUCTION JOINT



TYPE "A"

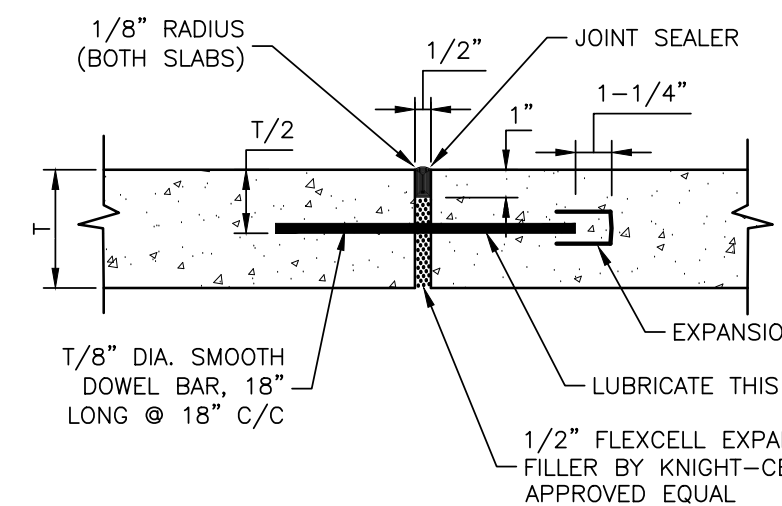


TYPE "B"

CURB & GUTTER DETAILS

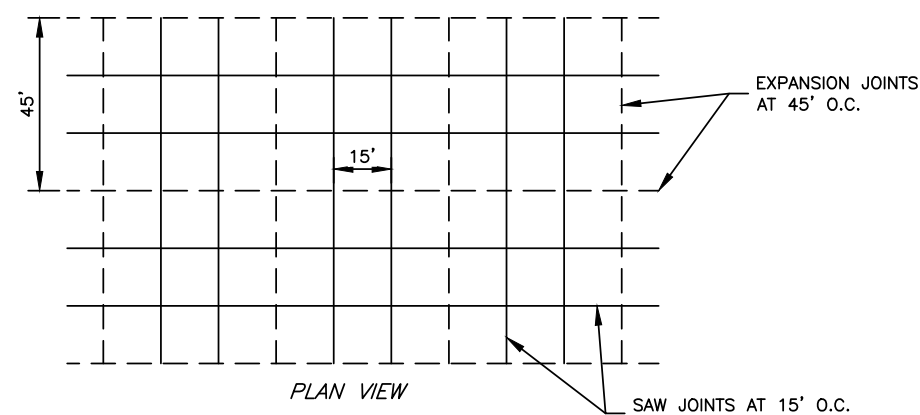
NOTES:

1. TYPE "A" TO BE USED ON ASPHALTIC CONCRETE PAVING, AND TYPE "B" TO BE USED WITH CONCRETE.
2. CONCRETE FOR CURB AND GUTTER SHALL BE 3,600 P.S.I. AT 28 DAYS.



EXPANSION JOINT

N.T.S.



CONCRETE PAVING

CONCRETE PAVING JOINT DETAILS

NOTE:

PROVIDE EXPANSION JOINT WHERE CONC. PAVEMENT AND CURB AND GUTTER MEET OR CONSTRUCT MCWOLVING CURB AND GUTTER WITH CONCRETE PAVEMENT.

REFER TO GEOTECHNICAL REPORT FOR ANY CLARIFICATIONS AND / OR DISCREPANCIES.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED OVERWANG	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV./ CITY COMMENTS	1-3-2024	AES

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

DETAILS



DRAWN BY: CCB

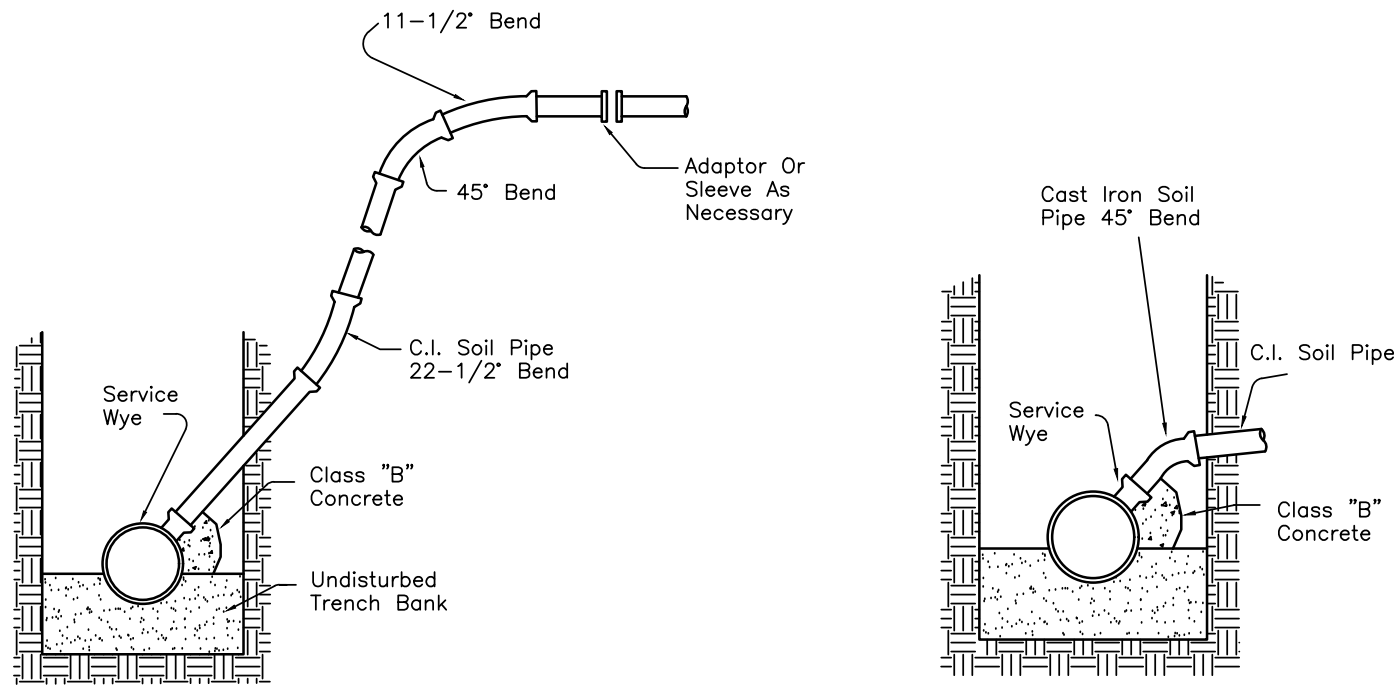
CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.

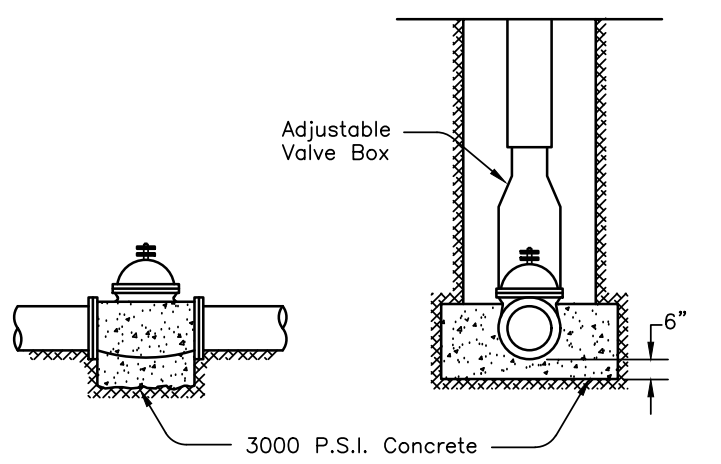
C-10



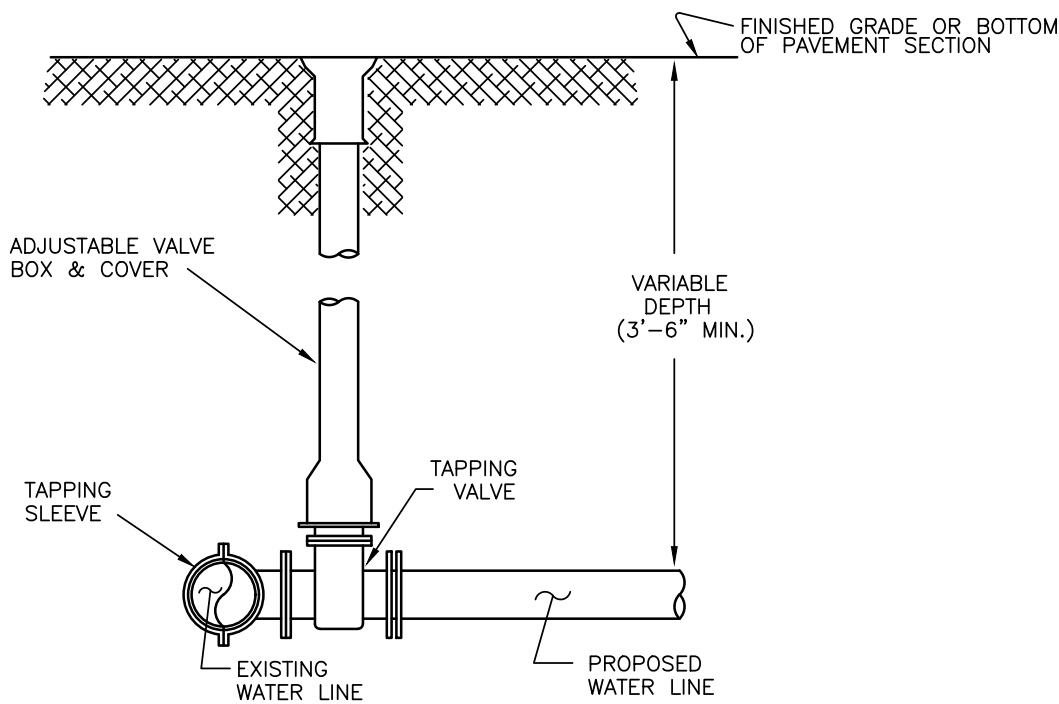
DEEP SEWER LINE RISER

NORMAL SEWER LINE RISER

GENERAL NOTE FOR SEWER SERVICE:
If tie-in to existing service is not completed at time of construction, plug end of new service and mark end with a painted 2"x4" board. Contractor shall also furnish owner completed plans indicating the location of the end of each sewer service by showing the distance to each of three existing points such as trees, water meters, etc.

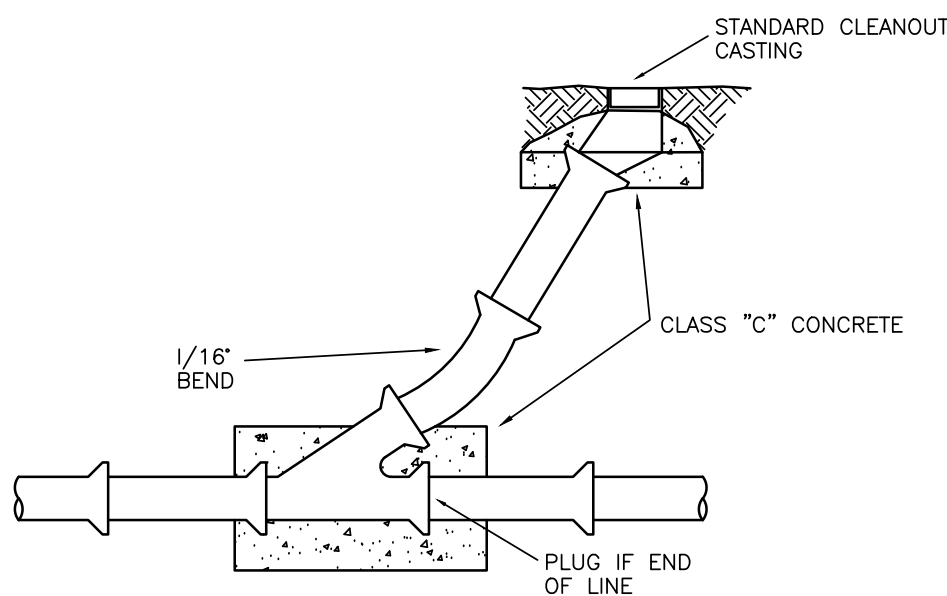


BLOCKING DETAIL FOR VALVES

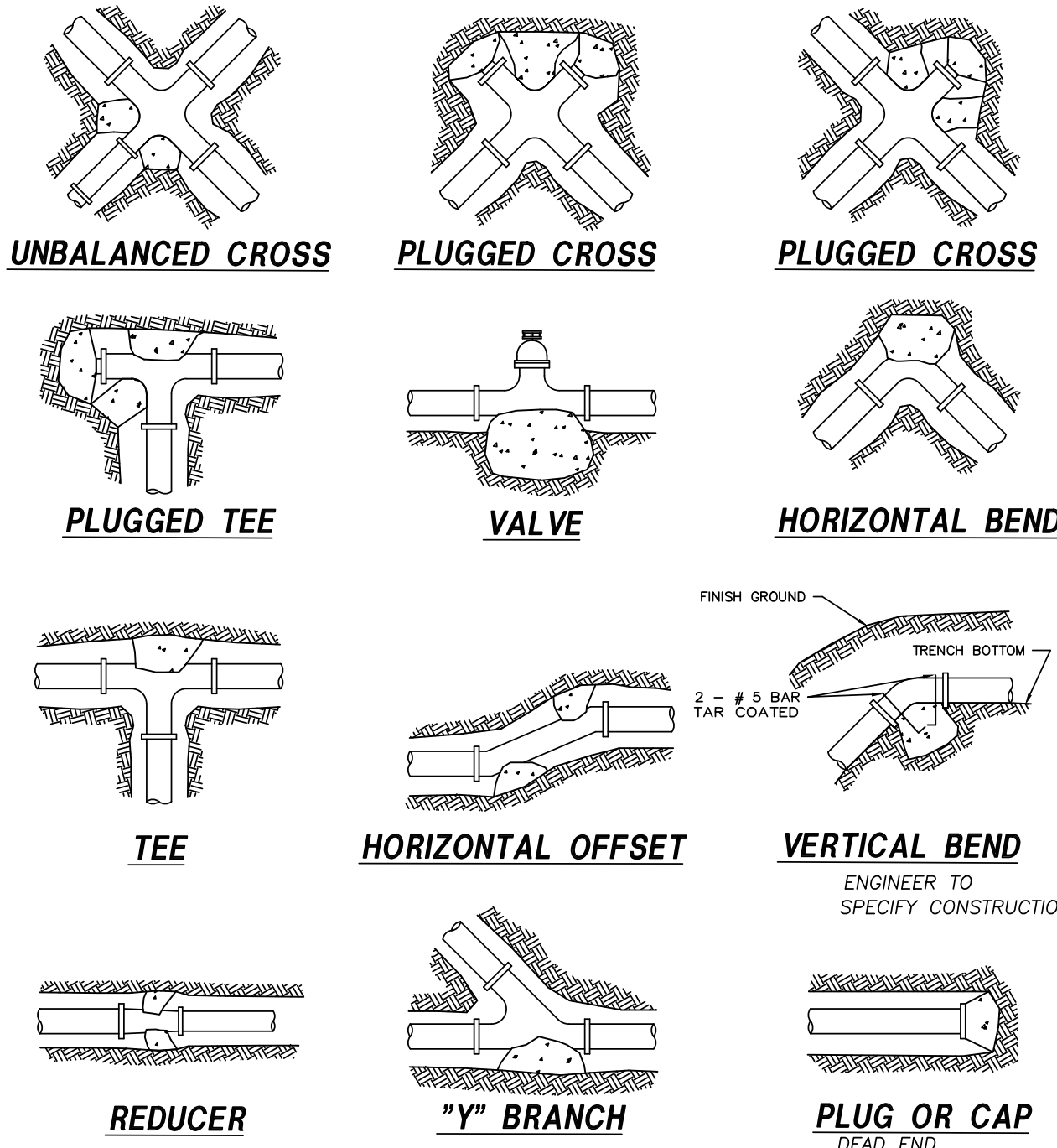


WATER LINE TIE-IN DETAIL

GENERAL NOTES FOR WATER CONSTRUCTION:
1. All work and materials shall be subject to City Engineers approval during construction and upon completion.
2. All concrete shall be of strengths shown hereon.
3. Unless otherwise approved, all water mains shall be placed a minimum depth of 3'-6" below top of proposed street curbs, or 36" of cover above pipe not located in street right of way.

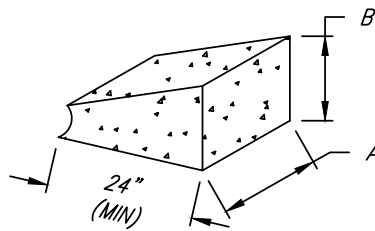


CLEANOUT DETAIL



GENERAL NOTES FOR THRUST BLOCKING:

- ALL BLOCKING SHALL BE AGAINST UNDISTURBED HAND DUG SOIL.
- WHERE SOIL CONDITIONS MAKE IT NECESSARY TO POUR CONCRETE BLOCKING OVER JOINTS, THE ENDS OF THE ADJACENT PIPES MUST HAVE A KICKER BLOCK TO RESIST MOVEMENT OF THESE JOINTS.
- WEIGHT CALCULATIONS TO BE BASED ON THRUST DUE TO STATIC PRESSURE +50 % THRUST = 2 AP SIN 1/20 WHERE A=AREA OF PIPE, P=WATER PRESSURE.
- WHERE BLOCKING OVER PLUG, PLUG SHOULD BE COVERED WITH PAPER TO PREVENT BINDING OF CONCRETE.
- WHERE SHEAR BECOMES A PROBLEM PROPER REINFORCING MUST BE INSTALLED INTO THE BLOCKING.
- CLEARANCE SHALL BE A MINIMUM OF 6" BETWEEN PIPE AND OBSTRUCTION.
- CLEARANCE ON PIPES BELONGING TO OIL & GAS COMPANIES SHALL BE 18" UNLESS SPECIAL PERMISSION IS GIVEN BY THESE COMPANIES.
- PROVIDE MINIMUM BEARING AREA IN S.E. AS FOLLOWS BASED ON 150 PSI TEST PRESSURE AND SOIL BEARING PRESSURE SPECIFIED IN GEOTECHNICAL INVESTIGATION.
- FITTINGS TO BE SEPARATED FROM THRUST BLOCK WITH 2 LAYER OF 8 MIL. POLYETHYLENE.
- ALL TIE DOWN RODS SHALL BE TAR COATED.
- ALL CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3,000 PSI.
- FOR FIRE HYDRANTS, THRUST BLOCK A=39", B=33", LENGTH=36"

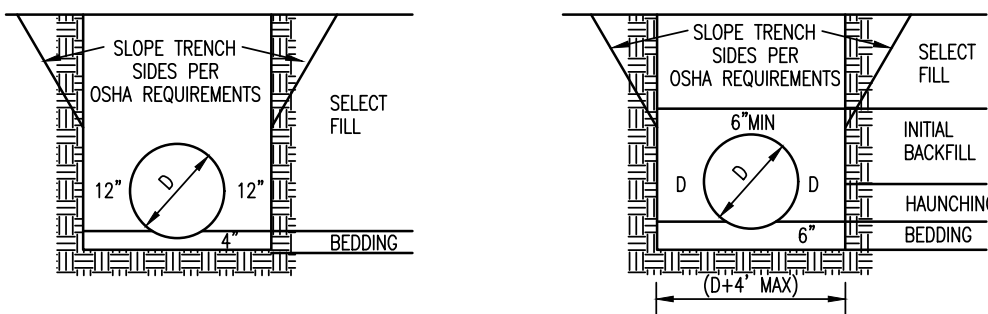


THRUST BLOCKING CALCULATIONS

FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-8"	1'-6"	2'-0"	1'-6"	2'-0"	1'-6"	1'-6"	0'-9"	1'-6"	0'-9"
6"	2'-8"	2'-0"	3'-3"	2'-9"	2'-6"	2'-0"	2'-6"	1'-0"	1'-6"	0'-6"
8"	3'-6"	3'-0"	4'-3"	3'-6"	3'-8"	2'-6"	2'-3"	2'-0"	1'-6"	1'-0"
10"	4'-3"	4'-0"	4'-6"	5'-3"	4'-0"	3'-3"	3'-0"	2'-3"	1'-6"	1'-0"
12"	5'-6"	4'-6"	6'-8"	5'-0"	4'-6"	4'-0"	3'-6"	2'-9"	2'-0"	1'-0"

THRUST BLOCKING DETAIL

SCALE: NTS



1. SELECT FILL SHALL BE SELECT MATERIAL FREE OF LARGE ROCKS (3"+) AND SHALL BE PLACED IN 8" MAX. LOOSE LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.

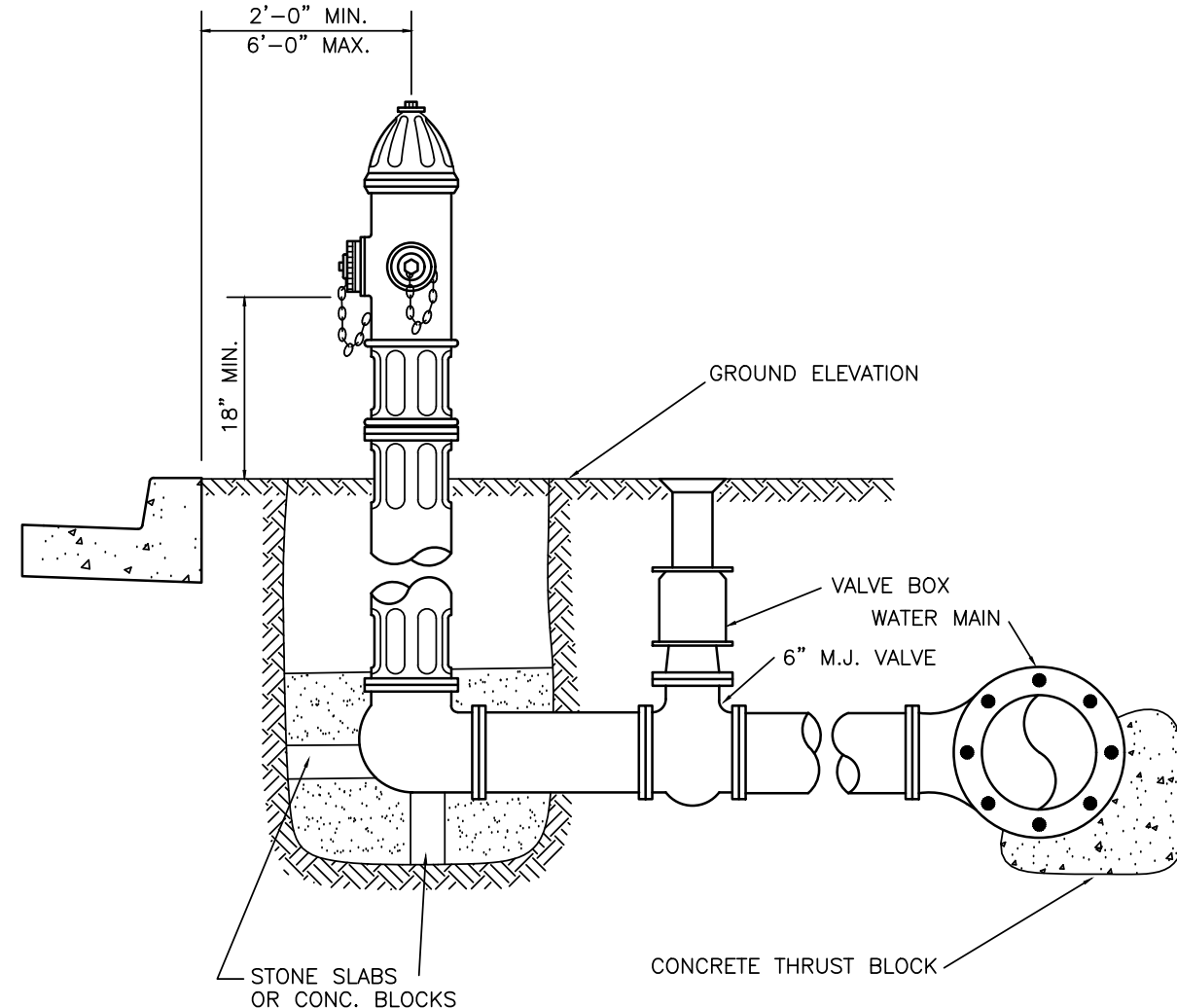
1. HAUNCHING AND INITIAL BACKFILL MATERIAL AND SHALL BE COMPACTED TO 95% STANDARD PROCTOR. MATERIAL SHALL BE CLASS I OR II (REF. ASTM D2321) PROCESSED GRANULAR MATERIAL.
2. SELECT FILL PLACEMENT AND COMPACTION SAME AS FOR RCP.

TRENCH & BEDDING DETAILS

NOT TO SCALE

GENERAL NOTES:

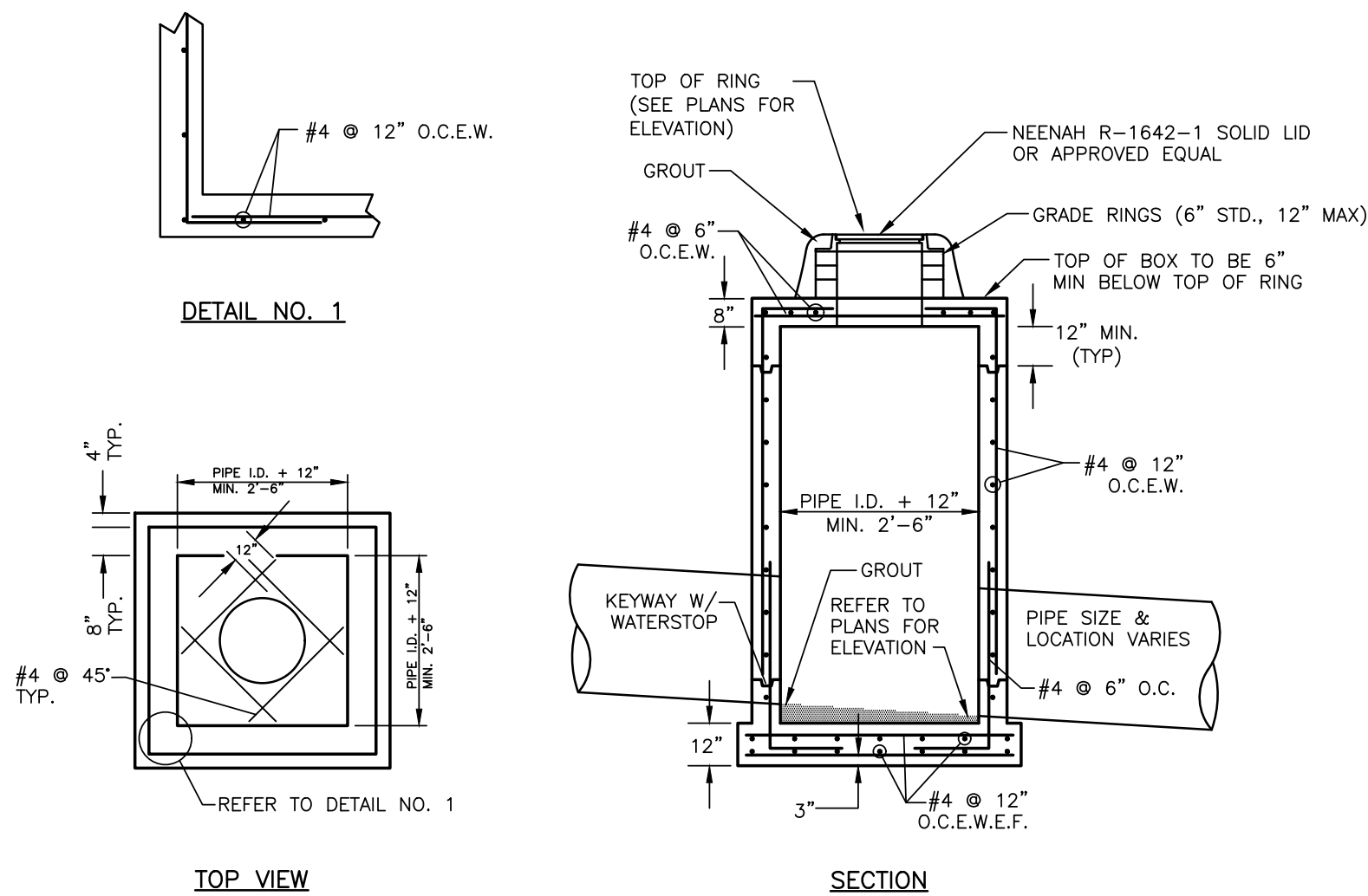
- All utility locations to be field verified by proper agencies before beginning construction.
- All side ditches to be cleaned and/or reggraded to provide proper drainage.
- All slopes not otherwise noted shall be 3:1 or flatter.
- All areas not otherwise surfaced to be seeded, mulched, watered and maintained until an adequate stand of grass is obtained.
- Riprap shall be placed on all slopes steeper than 3:1 unless noted otherwise.
- Unless otherwise specified, all slopes to be covered with a minimum of 4" of topsoil.
- PIPE EMBEDMENT: PVC pipe should be installed with proper bedding providing longitudinal support under the pipe. Backfill material should be worked under the sides of the pipe to provide satisfactory haunching. Initial backfill material should be placed to a sufficient height over the top of the pipe for impact protection during final backfill. All pipe embedment material should be selected and placed carefully, avoiding stones over 1.5 inches in diameter, frozen lumps and debris. Proper compaction of the haunching materials, that section of the embedment extending from the bottom of the pipe to the springline, should be performed to provide soil densities compacted to 95% standard proctor.
- FINAL BACKFILL: After placement and compaction of pipe embedment materials, the balance of backfill materials may be machine placed and should contain no large stones or rocks, frozen material or debris, and compacted to 95% standard proctor.



TYPICAL FIRE HYDRANT INSTALLATION

GENERAL NOTES FOR FIRE HYDRANTS:

- Drainage bed shall consist of crushed stone or coarse gravel with coarse sand, minimum volume 7 cu. ft., drain bed shall extend a min. of 6" above drain outlet.
- Use 6" C.I. nipple with M.J. retainer glands if distance between valve and fire hydrant must be greater than 17".
- Fire hydrant shall be installed plumb.
- Fire hydrant to be blocked against firm soil as shown.
- Large nozzle shall face road unless otherwise noted. Rotate barrel as required.
- Hydrant should not be set closer than 4' to obstructions that are in line with nozzle.
- M.J. Anchor Tee for 16" and smaller. When using regular M.J. Tee use 13" adapter nipple between tee and valve.
- Tapping saddle may be used on ductile iron mains larger than 16" diameter.
- Saddles shall be equal to manufactures by American Cast Iron Pipe Co. They shall be field coated with cold tar enamel.
- Fire hydrants shall be per City requirements, with city fire hose threads. Contractor shall verify City specified hydrant. If City standards do not specify, use Mueller D 423 NST3 way 6-inch mechanical joint.



JUNCTION BOX DETAIL

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED OVERLAP	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV./ CITY COMMENTS	1-3-2024	AES

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



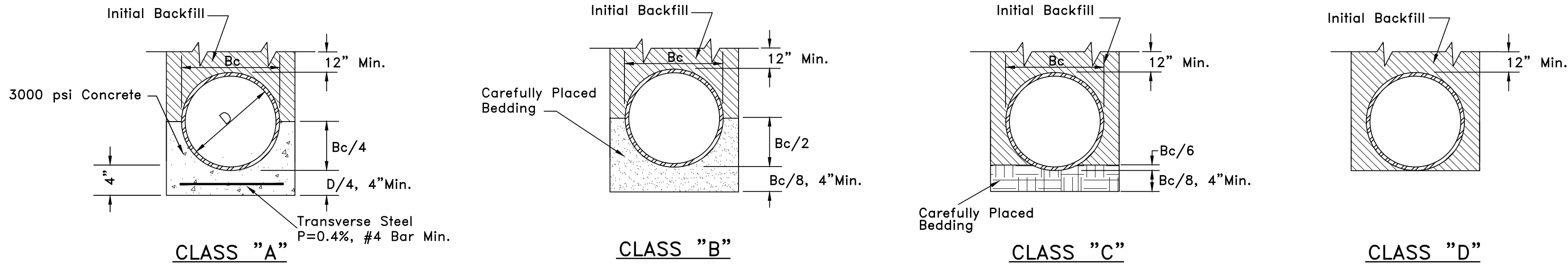
INTEGRITY URGENT CARE
ALVARADO, TX

DETAILS

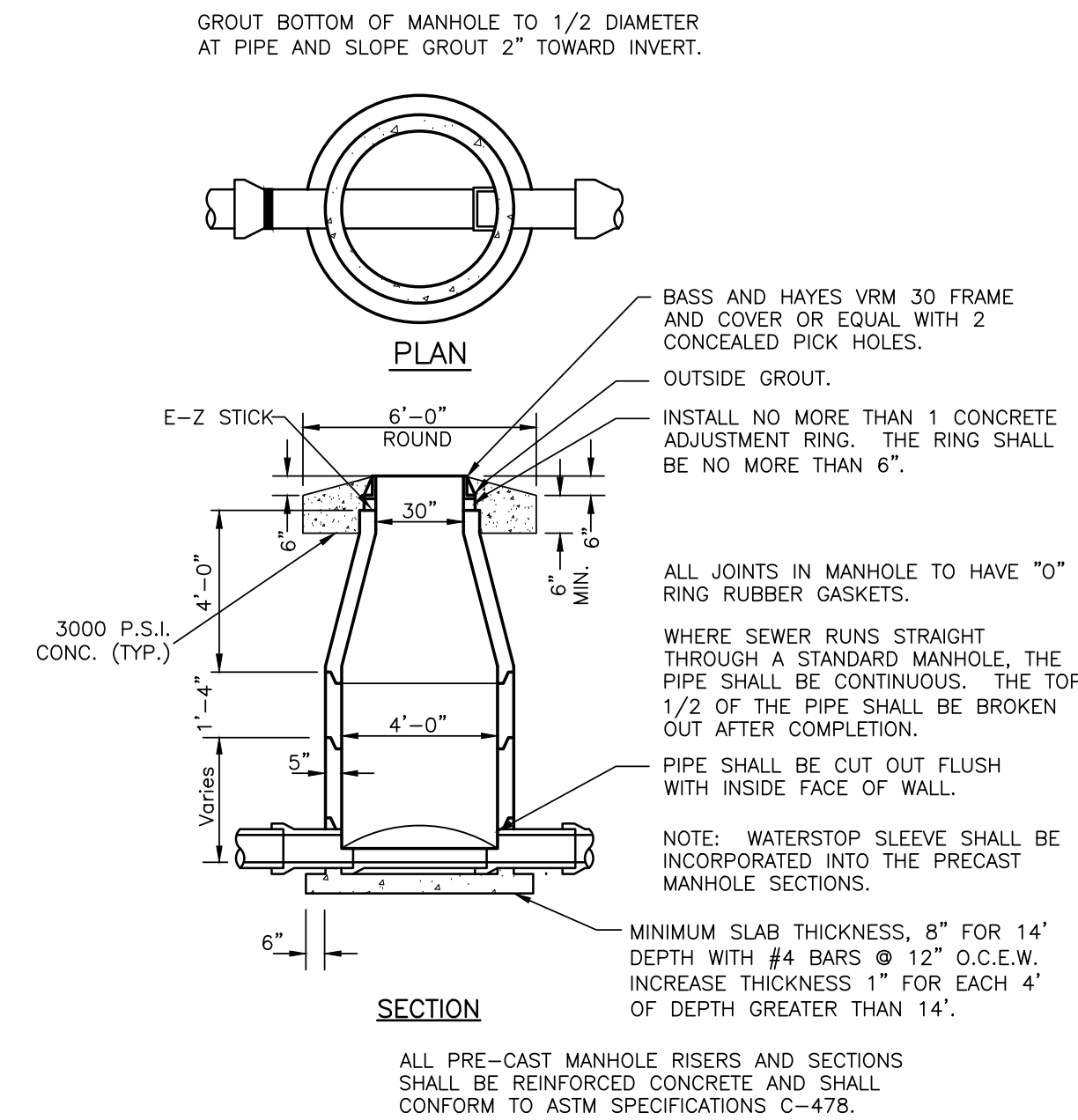


DRAWN BY: CCB
CHECKED BY: JGM
DATE: MAY, 2023
JOB NO: 2023.035
SHEET NO.
C-11

F:\Projects\2023\035 Xpress Wellness - Alvarado.dwg, 1/3/2024 11:11:07 AM, Andrew



CLASSES OF PIPE BEDDING
N.T.S.



SANITARY SEWER MANHOLE DETAIL
NOT TO SCALE

NOTES

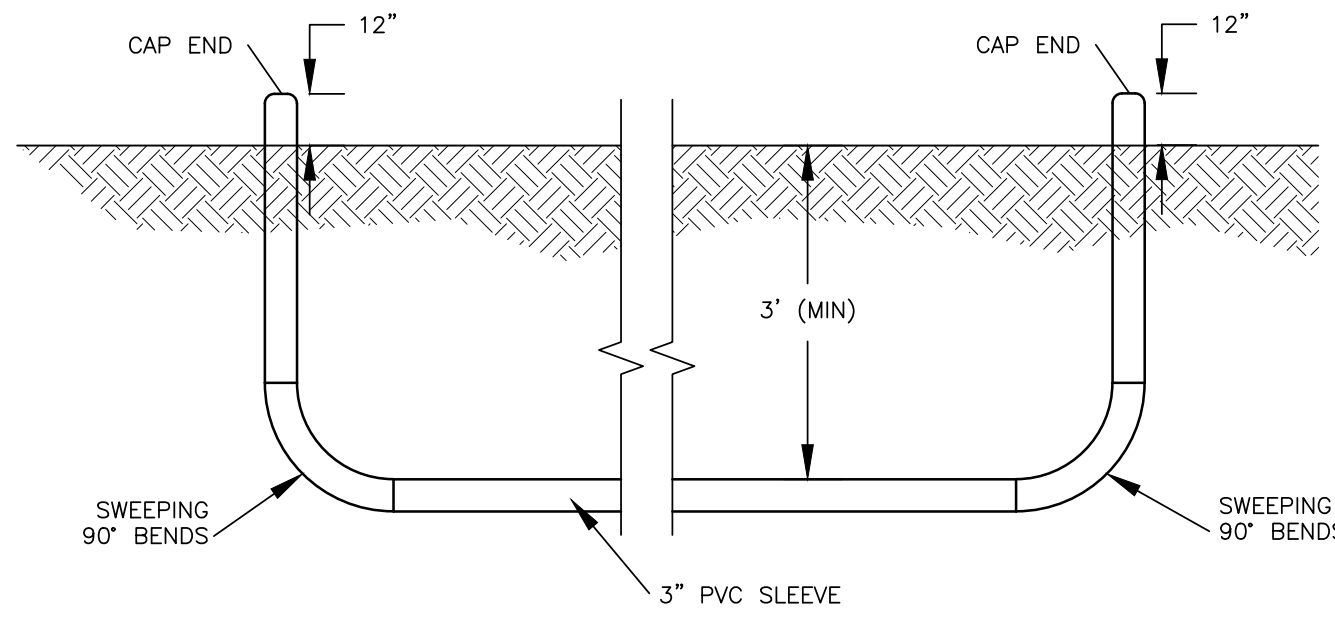
- DO NOT POUR ADDITIONAL CONCRETE ON OR BEYOND OUTSIDE FACE OF MANHOLE.
- USE A MINIMUM OF 1 NIPPLE AT EACH END OF MANHOLE.
- PIPE OPENING IN PRE-CAST CONCRETE UNITS SHALL BE EQUAL TO O.D. OF PIPE PLUS 6" MAXIMUM.
- DO NOT USE BRICK, BLOCK, OR TIMBER TO SUPPORT PIPE OR NIPPLES OUTSIDE OF MANHOLE.

MANHOLES

ALL MANHOLES ARE TO BE CONSTRUCTED AND TESTED ACCORDING TO TITLE 30 ENVIRONMENTAL QUALITY PART I. TEXAS COMMISSION OF ENVIRONMENTAL QUALITY (TCEQ) CHAPTER 217. DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEMS (TAC 30, RULE 217.55, LATEST EDITION)

WATERTIGHT, SIZE-ON-SIZE RESILIENT CONNECTORS ALLOWING FOR DIFFERENTIAL SETTLEMENT SHALL BE USED TO CONNECT PIPE TO MANHOLES. PIPE TO MANHOLE CONNECTORS SHALL CONFORM TO ASTM C-923, OTHER TYPES OF CONNECTORS MAY BE USED WHEN APPROVED BY THE TCEQ.

MANHOLES SHALL BE TESTED FOR LEAKAGE SEPARATELY AND INDEPENDENTLY OF THE WASTEWATER LINES BY HYDROSTATIC EXFILTRATION TESTING, VACUUM TESTING OR OTHER METHODS ACCEPTABLE TO THE TCEQ AND THE ENTITY HAVING JURISDICTION. IF A MANHOLE FAILS A LEAKAGE TEST, THE MANHOLE MUST BE MADE WATER TIGHT AND RETESTED.



UTILITY SLEEVE DETAIL
N.T.S.

NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321, CLASS IVB MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 12"-24" DIAMETER PIPE; 6" FOR 30"-60" DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS: CLASS I OR II MATERIAL COMPACTED TO 90% STD AND CLASS III COMPACTED TO 95% STD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. CLASS IV MATERIALS ARE NOT RECOMMENDED AS BACKFILL. FOR TRAFFIC APPLICATION WITH LESS THAN 72" OF COVER MEASURED FROM TOP OF PIPE TO TOP OF SURFACE.

N-12 HP STORM TRENCH INSTALLATION DETAIL
N.T.S.

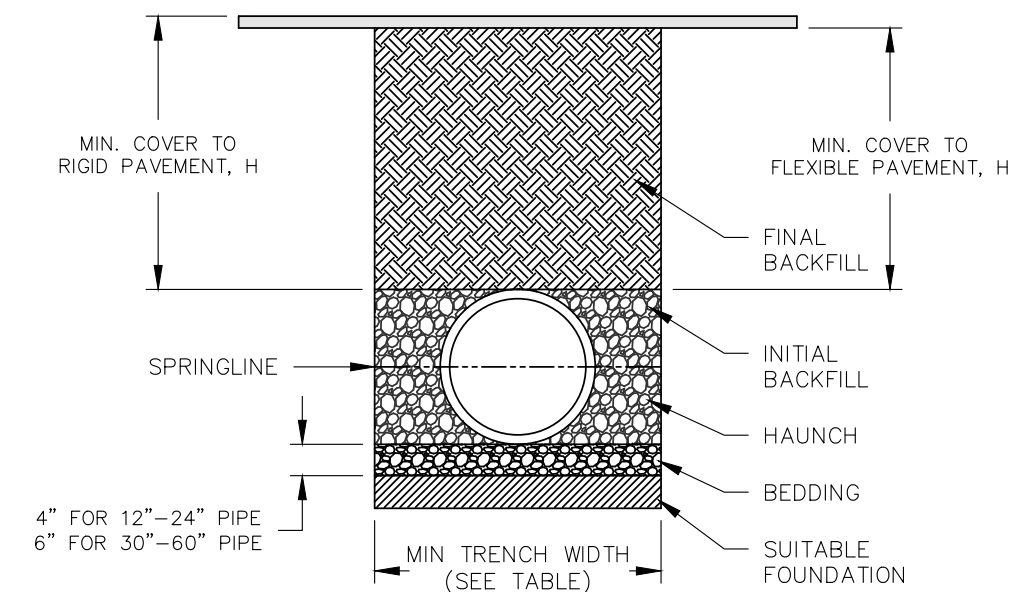


TABLE 3, MAXIMUM COVER FOR ADS N-12 HP PIPE, ft

PIPE DIA	CLASS I		CLASS II		CLASS III		CLASS IV	
	COMPACTED	95%	90%	85%	95%	90%	85%	85%
12" (300mm)	39 (11.9m)	27 (8.2m)	20 (6.1m)	15 (4.6m)	21 (6.4m)	16 (4.9m)	14 (4.3m)	13 (4.0m)
15" (375mm)	42 (12.8m)	29 (8.9m)	21 (6.4m)	16 (4.9m)	22 (6.7m)	17 (5.2m)	15 (4.6m)	14 (4.3m)
18" (450mm)	36 (11.0m)	25 (7.6m)	18 (5.5m)	13 (4.0m)	19 (5.8m)	14 (4.3m)	13 (3.7m)	12 (3.7m)
24" (600mm)	31 (9.4m)	22 (6.7m)	16 (4.9m)	11 (3.4m)	16 (4.9m)	12 (3.7m)	11 (3.4m)	10 (3.0m)
30" (750mm)	36 (11.0m)	25 (7.6m)	18 (5.5m)	13 (4.0m)	19 (5.8m)	14 (4.3m)	13 (3.7m)	12 (3.7m)
36" (900mm)	32 (9.8m)	23 (7.0m)	16 (4.9m)	11 (3.4m)	16 (4.9m)	12 (3.7m)	11 (3.4m)	10 (3.0m)
42" (1050mm)	37 (11.3m)	25 (7.6m)	18 (5.5m)	13 (4.0m)	18 (5.5m)	13 (4.0m)	12 (3.7m)	9 (2.7m)
48" (1200mm)	35 (10.7m)	24 (7.3m)	17 (5.2m)	12 (3.7m)	17 (5.2m)	13 (4.0m)	11 (3.4m)	9 (2.7m)
60" (1500mm)	37 (11.3m)	25 (7.6m)	18 (5.5m)	13 (4.0m)	18 (5.5m)	13 (4.0m)	11 (3.4m)	10 (3.0m)

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12, LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
HEIGHT OF WATER (hw) = CROWN +1', UNIT WEIGHT OF SOIL (w) = 120 PCF

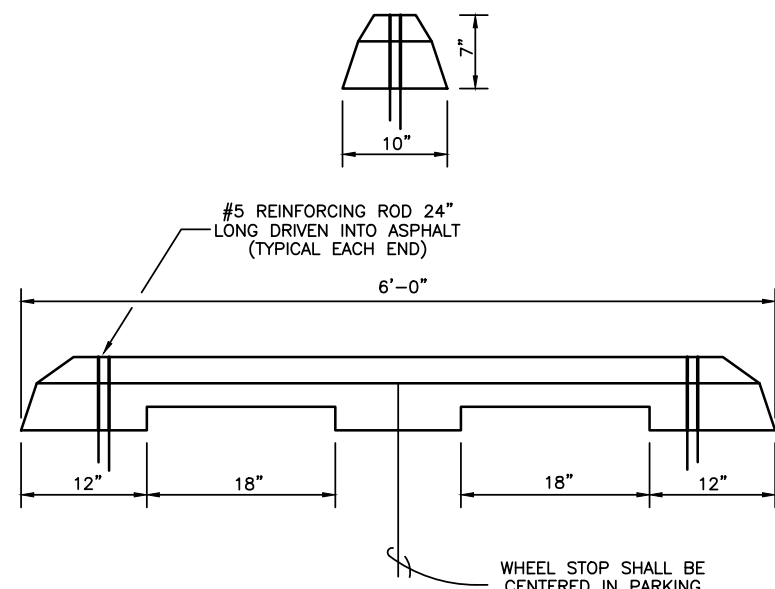
TABLE 1, RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN TRENCH WIDTH
12" (300mm)	30" (750mm)
15" (375mm)	34" (860mm)
18" (450mm)	39" (990mm)
24" (600mm)	48" (1200mm)
30" (750mm)	56" (1420mm)
36" (900mm)	64" (1620mm)
48" (1200mm)	80" (2030mm)
60" (1500mm)	96" (2440mm)

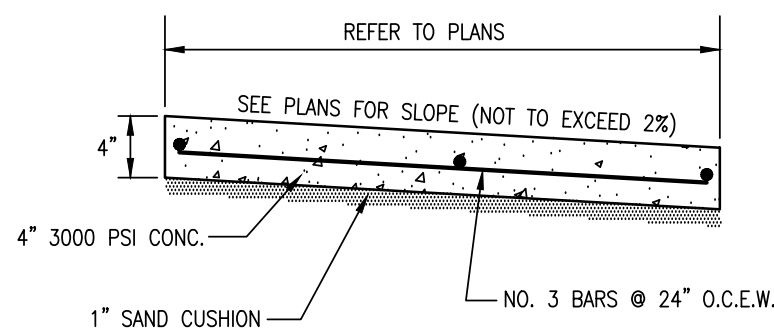
TABLE 2, MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12"-48"	12"	48"
60"	24"	60"

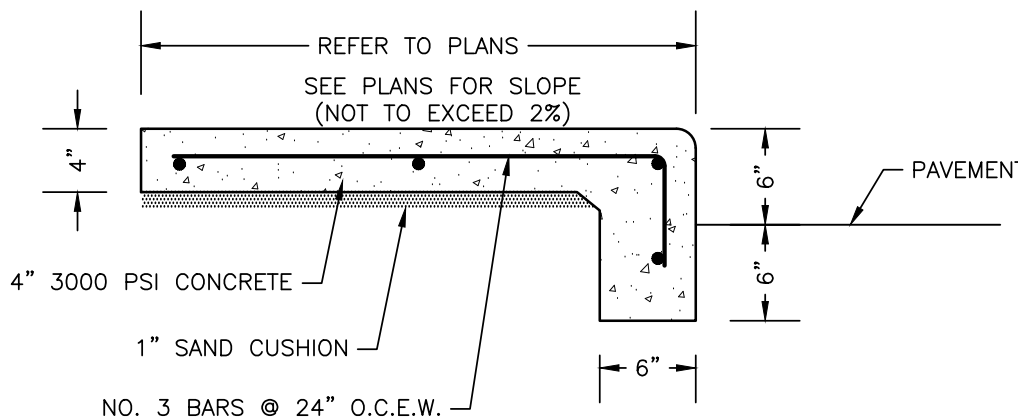
*VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER



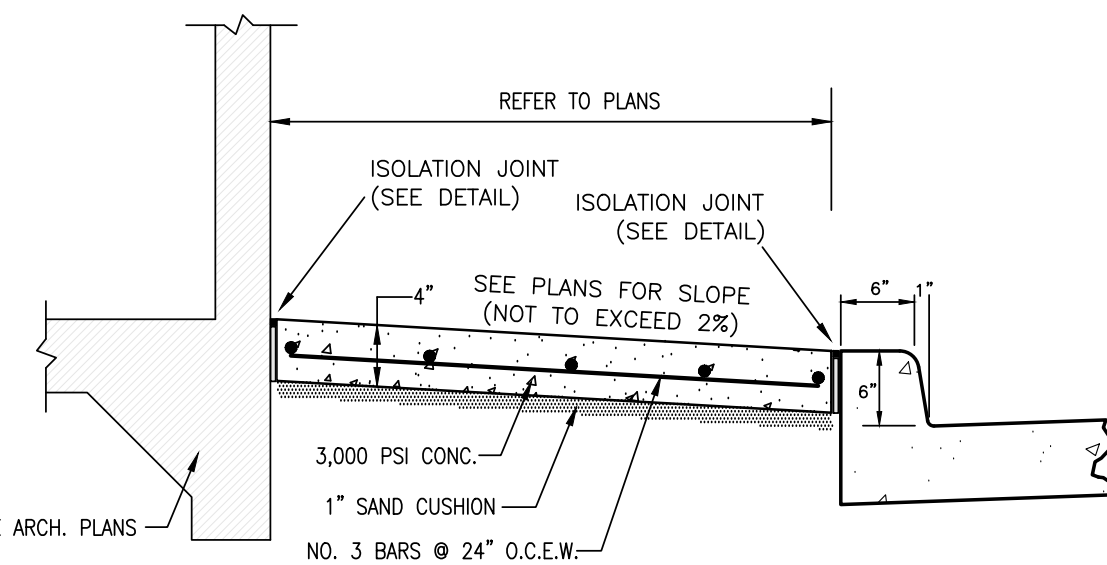
WHEEL STOP DETAIL



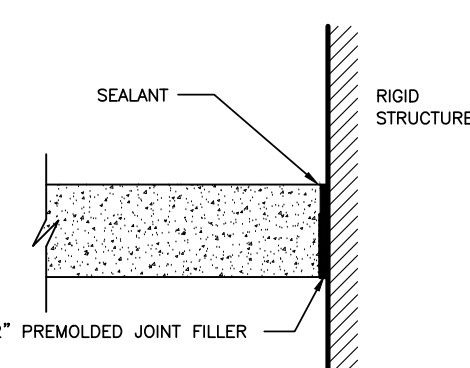
SIDEWALK SECTION
N.T.S.



SIDEWALK AT EDGE OF PAVEMENT
N.T.S.



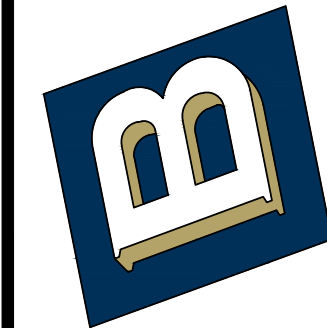
SIDEWALK @ BUILDING SECTION
N.T.S.



ISOLATION JOINT
N.T.S.

SUBMITTAL / REVISIONS	DATE	BY
INITIAL SUBMITTAL	6-16-23	CCB
REVISED OVERLAP	6-19-23	AES
INITIAL CITY SUBMITTAL	8-9-23	AES
CITY COMMENTS	9-15-23	CCB
CITY COMMENTS	11-20-23	CCB
DRAIN. REV. / CITY COMMENTS	1-3-2024	AES

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

DETAILS



DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

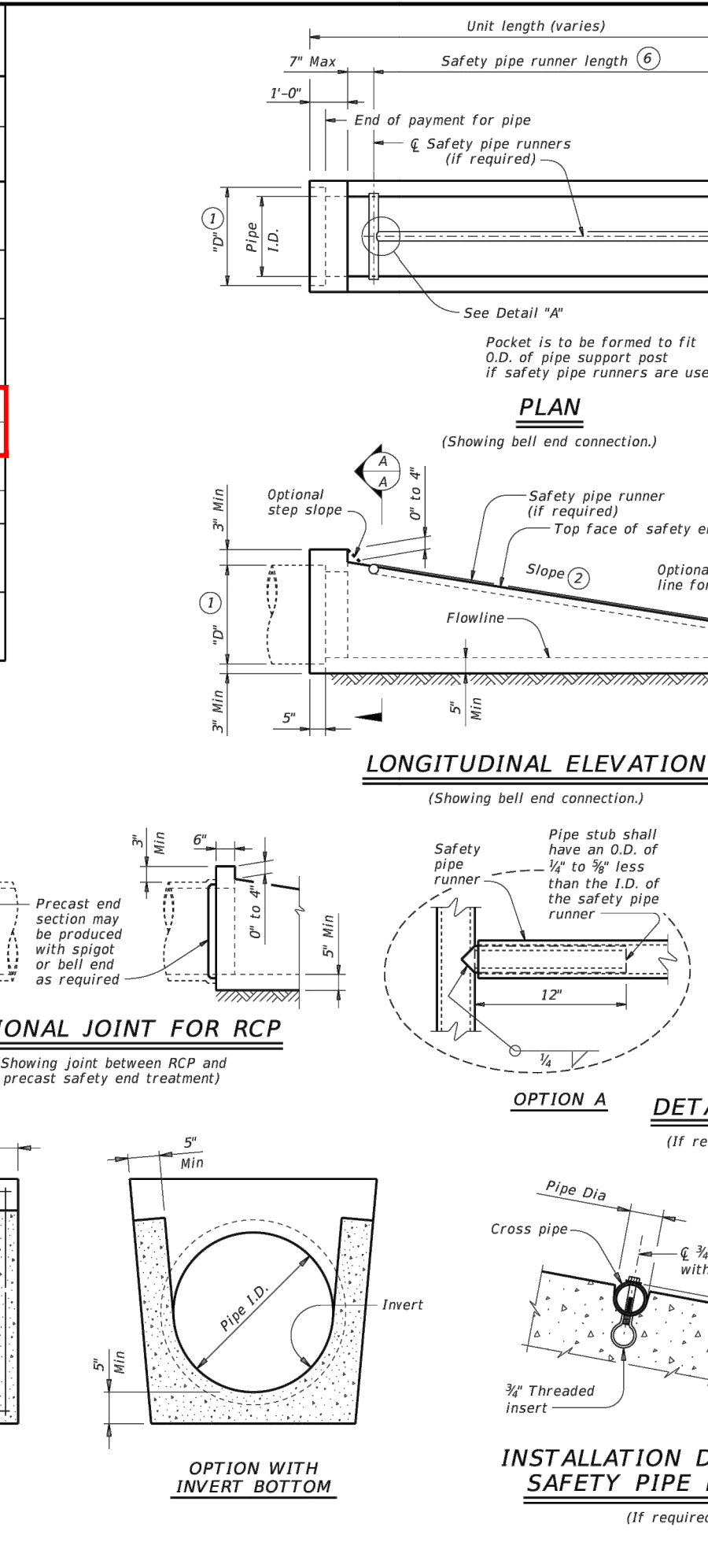
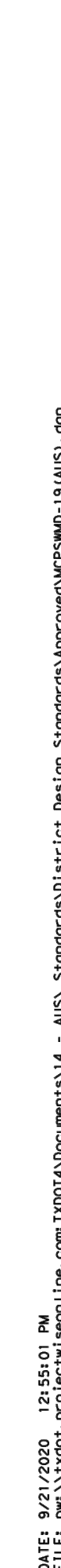
JOB NO: 2023.035

SHEET NO.

C-12

TE: _____
 FE: _____

DISCLAIMER:
 The use of the
 TxDOT assume



CONC CURB (TY C1) & (TY C2)

FOOTING DETAIL

SIDEWALK, SHARED USE PATH, AND MEDIAN NOTES

Reinforcement will be in accordance with Item 432.3.1.
 Fiber reinforcement is not allowed. Class A and B concrete are allowed to use Coarse Aggregate Grades 1-5.
 Bedding may be sand, base, or RAP bedding. Furnish base meeting the requirement for any type or grade in accordance with item 247. Base compressive strengths are waived. RAP must be 100% passing a 1 in. sieve. Bedding must be placed using ordinary compaction.
 If roots are encountered verify with the Engineer prior to accommodating or removing 2 in. diameter or larger roots. Root removal must be in accordance with Item 352.4-2. Roots may remain in the bedding or base. For improvements within 6 in. of a root, the concrete thickness may be reduced by 1 in. and the bedding increased by 1 in. to minimize impacts to the roots. Adjust bedding and surface profile to provide a 1 in. bedding cushion around the roots. The surface profile may be adjusted to the extent allowed by ADA. This work is subsidiary.

CONC CURB (TY F1)*

- LIMIT OF PAYMENT FOR SIDEWALK OR S.U.P., PED. RAIL (SEE PLANS FOR TYPE)
- PERMISSIBLE CONSTRUCTION JOINT
- CONTROL LINE
- LF BAR #5 AT 12" C-C
- #4 BARS @ 12" C/C
- ORDINARY BACKFILL
- PERMISSIBLE CONSTRUCTION JOINT
- SEE SIDEWALK OR S.U.P. TYPICAL SECTION
- SIDEWALK
- 2" BEDDING
- 12"
- 6"
- 12"
- TY F1 - "H" = 6' TO 24"
- 8"

CONC CURB (TY F2) & (TY F3)*

- LIMIT OF PAYMENT FOR SIDEWALK OR S.U.P., PED. RAIL (SEE PLANS FOR TYPE)
- PERMISSIBLE CONSTRUCTION JOINT
- CONTROL LINE
- LF BAR #5 AT 12" C-C
- #4 BARS @ 12" C/C
- ORDINARY BACKFILL
- PERMISSIBLE CONSTRUCTION JOINT
- SEE SIDEWALK OR S.U.P. TYPICAL SECTION
- SIDEWALK
- 2" BEDDING
- 12"
- 6"
- 12"
- 12"
- TY F2 - "H" = 24" TO 36"
- TY F3 - "H" = 36" TO 60"
- 3" MIN.
- 8"
- CONCRETE COARSE AGGREGATE, GRADE 2 OR 3, TO BE USED WHEN "H" HEIGHT IS GREATER THAN 24".
- 2" DIA. WEEP HOLE SPA. # 15" MAX. (SLOPE TO DRAIN)
- 1" HARDWARE CLOTH CENTERED BEHIND OPENING
- 6" MIN.

CONCRETE CURB NOTES:

- All Concrete, including adjacent sidewalk or S.U.P., shall be Class "C".
- All Reinforcing Steel shall be Grade 60.
- Minimum 4' sidewalk width for CONC CURB (TYPES C1 & C2).
- Unless the sidewalk is complete, lateral support for the "F" curbs will be required.
- ALL WORK SHOWN BEYOND TYPICAL SIDEWALK, S.U.P., AND PED RAIL IS SUBSIDIARY.

DESIGN SOIL PARAMETERS:

Soil Unit #	= 120 pcf
Phi	= 30 Degrees
Cohesion	= 50 psf
Min. PI	= 15
Max. PI	= 30

TYPE "F" CURB a = 2'. Adjacent to sidewalk
Max. slope behind TYPE C Curbs = 4:1
Min. Factor of Safety against sliding is 1.5.
Designed in accordance with current AASHTO Standards and Interim Specifications.

**MISCELLANEOUS CURB,
PATH, SIDEWALK, AND
MEDIAN DETAILS**

Austin District Standard

NOT TO SCALE

DATE APPROVED	REVISION	CONF	SECT	JOB	HIGHWAY
				COUNTY	SHEET NO.

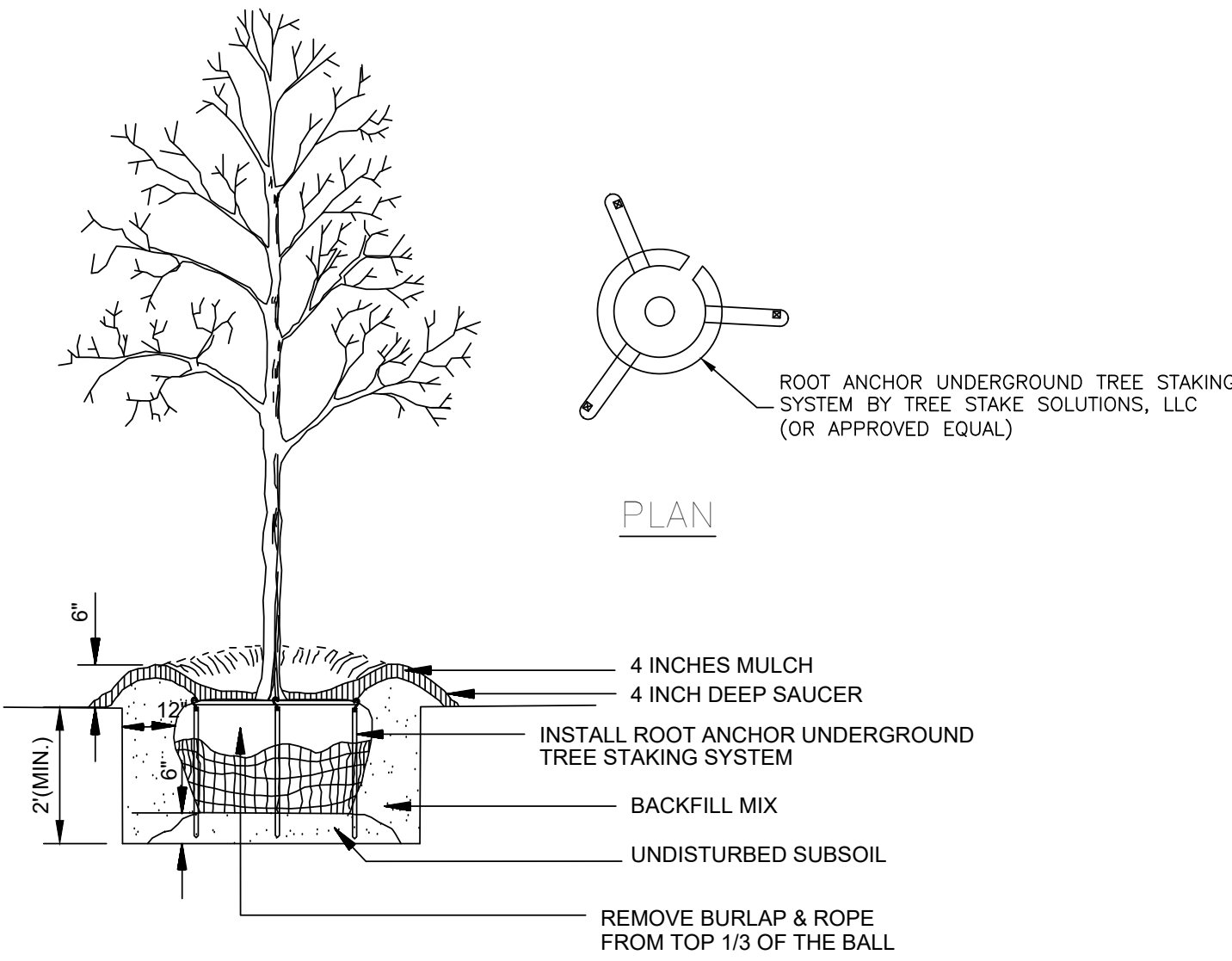
MCPSSWMD-19 (AUSTIN)

GENERAL LANDSCAPE NOTES:

TREES OVERHANGING SIDEWALKS, DRIVEWAYS OR PEDESTRIAN AREAS SHALL HAVE A MINIMUM CLEAR TRUNK BRANCHING HEIGHT OF SEVEN (7') FEET.
TREES OVERHANGING VISIBILITY EASEMENTS OR RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF NINE (9') FEET.
TREES OVERHANGING PUBLIC STREET PAVEMENT, DRIVE AISLES, AND FIRELANES WILL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN (14') FEET.
ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS.
HARDWOOD MULCH SHALL BE PLACED AT A MINIMUM 4" DEPTH THROUGHOUT LANDSCAPED BEDS.
NO TREE OR SHRUB SHALL BE PLANTED IN ANY SERVITUDE OR EASEMENT WITHOUT THE WRITTEN PERMISSION OF THE USER AGENCY(IES).

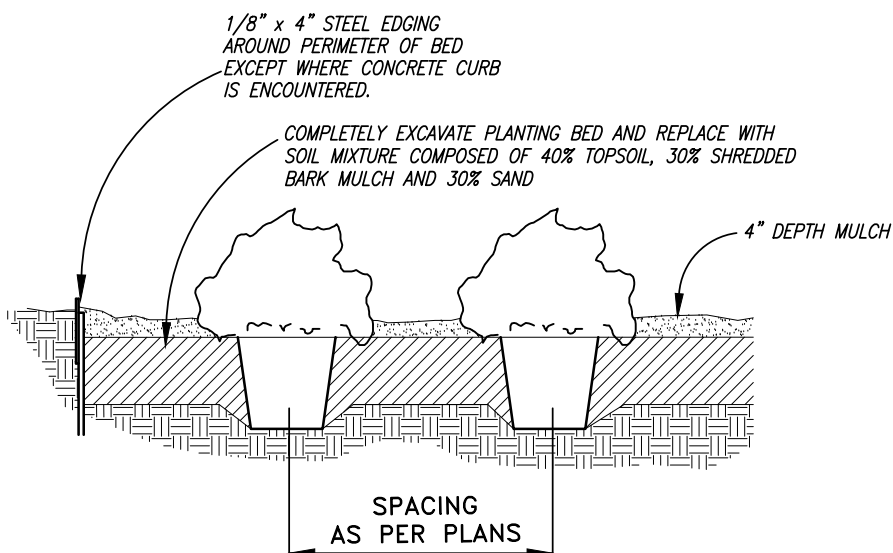
IRRIGATION NOTES

VERIFY "STATIC" PRESSURE AVAILABLE AT THE SITE AND NOTIFY THE ENGINEER IF LESS THAN 55 P.S.I.
AN 18" DEPTH TRENCH SHALL BE REQUIRED FOR ALL PRESSURE LINES. A 12" DEPTH TRENCH SHALL BE REQUIRED FOR ALL LATERAL LINES.
PURPLE PRIMER SHALL BE REQUIRED ON ALL WELDS BEFORE GLUING.
SNAKE PRESSURE LINE IN TRENCH AT LEAST ONE (1') FOOT PER 100', TO ALLOW FOR THERMAL EXPANSION.
ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED IN APPROPRIATE BOXES AS PER MANUFACTURERS RECOMMENDATIONS.
ALL IRRIGATION PRODUCTS SHOWN ON THIS PLAN SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
ALL LATERAL LINES SHALL BE GLASS 200 PVC.
ADJUSTMENTS TO HEADS MAY BE REQUIRED DURING CONSTRUCTION.
ALL IRRIGATION LINES ARE TO BE LOCATED WITHIN LANDSCAPED AREAS AND PLACED ADJACENT TO CURBS WHENEVER POSSIBLE.
NO IRRIGATION LINES SHALL BE PLACED IN POSSIBLE CONFLICT WITH OTHER TRADES OR UTILITIES.
ALL LINES UNDER PAVEMENT SHALL BE SLEEVED WITH SCH 40 WITH IRRIGATION WIRING IN A SEPARATE 2" SCH 40 SLEEVE.
IRRIGATION CONTRACTOR IS TO ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS.
110 VOLT AC TO BE PROVIDED BY GENERAL CONTRACTOR TO THE CONTROLLER.
BACKFLOW PREVENTION DEVICE TO BE PER CITY REQUIREMENTS - 1" FBGO 805Y- LOCATED IN HOT-BOX FIBERGLASS, FLIP-TOP ENCLOSURE OR APPROVED EQUAL, ENCLOSURE MUST COMPLY WITH ASSE 1060.
NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF THE ENGINEER SHOWN ON THESE PLANS.
CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS IN THE WORK AREA.
ALL SLEEVES UNDER PAVEMENT TO EXTEND A MINIMUM 12" BEYOND PAVING.
THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THIS PLAN WHEN IT IS OBVIOUS THAT THE IRRIGATION DESIGN IS IN CONFLICT WITH ON-SITE FEATURES THAT MAY NOT HAVE BEEN CONSIDERED IN THE DESIGN. IN THE EVENT THAT THIS HAPPENS IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER IN WRITING. IF THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY REVISIONS.



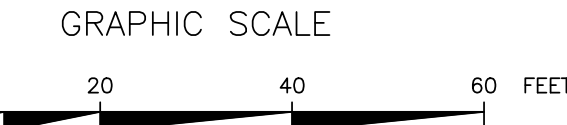
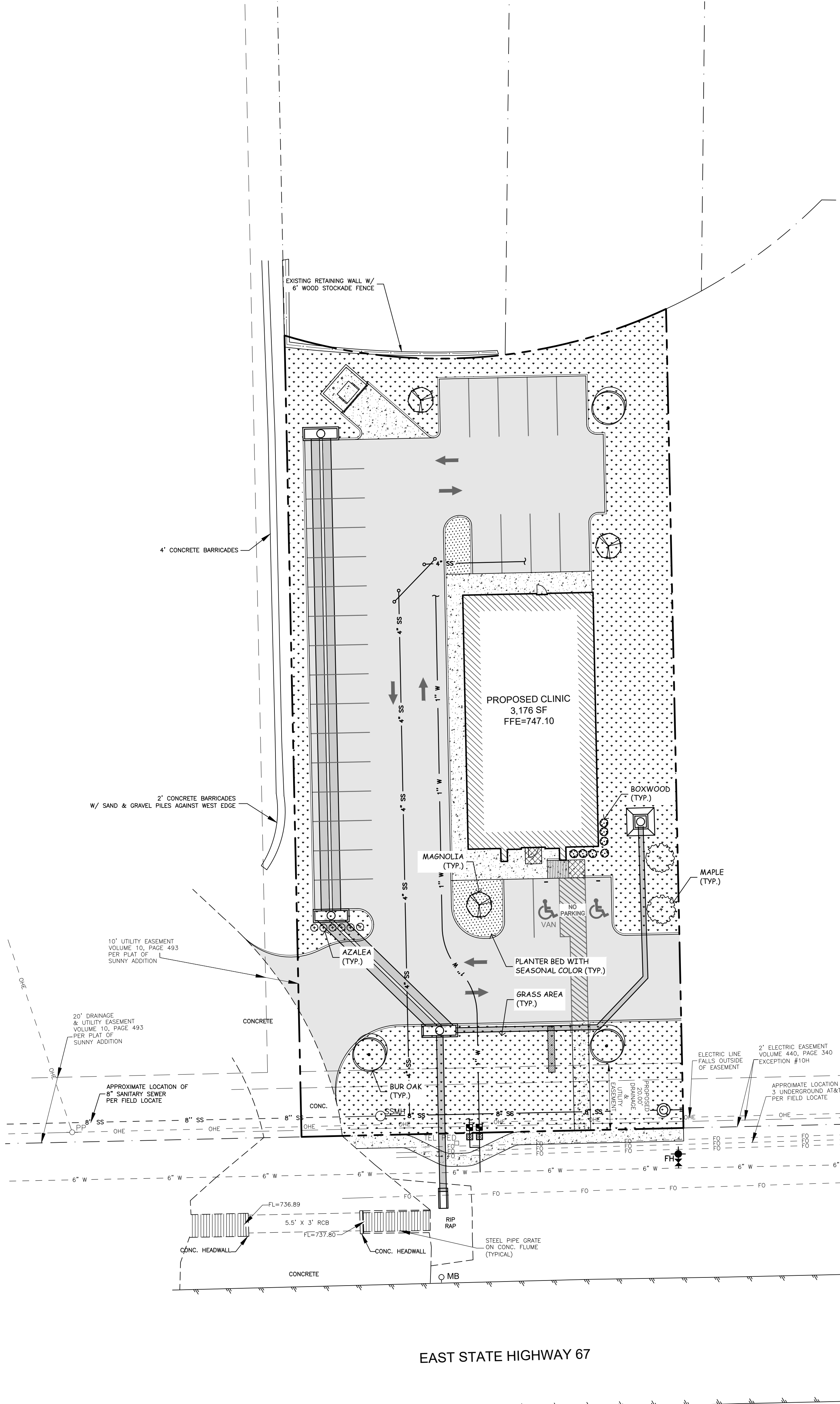
TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE



TOTAL PROVIDED LANDSCAPING
GROUND COVER = 8,489 SF
8 TREES (3" CALIPER) = 1,600 SF
13 SHRUBS (2 GAL.) = 130 SF
TOTAL = 10,219 SF

- 1) ALL PLANTED AREAS SHALL RECEIVE A 4" LAYER OF HARDWOOD MULCH OVER 10 MIL FABRIC EQUAL TO "WEEDBLOCK" BY "EASY GARDENER".
- 2) ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE SEEDED ACCORDING TO SEEDING SPECIFICATIONS.
- 3) ALL ISLANDS SHALL BE MULCHED
- 4) UNLESS OTHERWISE NOTED, ALL PARKING STRIPS, ISLANDS AND BERMS SHALL BE SODDED.

LANDSCAPE TABULATIONS

TOTAL LOT AREA: 28,333 SF
TOTAL LANDSCAPING REQUIRED @ 20% OF 28,333 SF = 5,667 SF
TOTAL STREET YARD LANDSCAPING REQUIRED @ 40% OF 5,667 SF = 2,267 SF

	REQUIRED	PROVIDED
TOTAL LANDSCAPING:	5,667 SF	10,184 SF
TOTAL STREET YARD LANDSCAPING	2,267 SF	4,614 SF

NOTES:
1. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY A HOSE CONNECTION LOCATED WITHIN 50' OF ALL LANDSCAPED AREAS OR AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH FREEZE SENSOR (DESIGNED BY SUCCESSFUL CONTRACTOR).
2. OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE.

TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
3		BUR OAK	Bur oak	Quercus macrocarpa	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk
2		MAPLE	Japanese Maple	Acer palmatum	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk
3		MAGNOLIA	Southern Magnolia	Magnolia grandiflora	3" caliper, 10'-12' Ht./ 4'-5' spread, B&B straight trunk
SHRUBS					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
7		BOXWOOD	Japanese Boxwood	Buxus microphylla	2 gallon, 16"-18" Ht./15" spread, bushy, full to ground
6		AZALEA	Azalea	Rhododendron	2 gallon, 16"-18" Ht./15" spread, bushy, full to ground
GROUND COVER					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN		GRASS	Common Bermuda Grass	Cynodon dactylon	Sod refer to specifications

LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS811 MUST BE CONTACTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.
THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

NOTICE TO CONTRACTORS

1. These plans are subject to review and approval by all jurisdictions having authority.
2. Contractor shall appropriately notify all relevant entities prior to digging on this project.
3. The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
4. The topographic information shown herein is a reflection of the information provided by MARK DEAL AND ASSOCIATES, NORMAN, OK.
If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
5. The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable	Conduits	Pipes
Stormwater lines	Water lines	Gas lines
Television cables	Sanitary Sewer lines	Oil Production lines
Saltwater lines		

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



INTEGRITY URGENT CARE
ALVARADO, TX

LANDSCAPE PLAN



DRAWN BY: CCB

CHECKED BY: JGM

DATE: MAY, 2023

JOB NO: 2023.035

SHEET NO.
L-1



Planning and Zoning Commission Meeting Management Report

Meeting Date: January 18, 2024

Contact: Justin French, Community Development Director

AGENDA ITEM:

Hold a public hearing and consideration and action approving an ordinance amending the zoning ordinance regulations in Chapter 42 of the Alvarado Code of Ordinances, relating to *multi-family residential, motel, sexually oriented business, and smoke shop* uses.

BACKGROUND & FINDINGS:

Regulations and districts in the Alvarado zoning ordinance are established in accordance with the comprehensive plan, for the purpose of promoting the health, safety, morals and welfare of the City. From time to time the City Council may find it necessary to amend the zoning regulations to address new uses and development trends. The attached ordinance has been prepared to provide clarification of existing ordinance provisions and address opportunities and threats that may be of apparent interest within the City.

FINANCIAL IMPACT:

None.

RECOMMENDATION:

Staff suggests the Commission recommend Council approve the drafted Ordinance 2024-0001.

MANAGEMENT REVIEW:

Paul DeBuff, City Manager

ATTACHMENTS:

Sec. 42-28 MF District

Sec. 42-29 C-1 District

Sec. 42-30 C-2 District

Sec. 42-31 M-1 District

Sec. 42-32 M-2 District

Notification List

Notices to Existing Property Owners

Notices to Existing Smoke Shops

Drafted Ordinance 2024-0001

Sec. 42-28. MF multifamily residential district.

- (a) *Purpose.* The MF district allows medium to high density multifamily development. This district is intended to be a buffer or transition zone from major streets and nonresidential uses to lower density residential zones. Density in this district does not ordinarily exceed 15 units per gross acre but can reach a maximum of 25 units per gross acre if special fire protection requirements are observed.
- (b) *Permitted uses and parking regulations.* In the MF district, no building or land shall be used and no building shall be hereinafter erected, placed, reconstructed, altered or enlarged, unless otherwise provided in this chapter, except for the following uses:

USE	PARKING REGULATIONS
Accessory building to main use	1 space per employee to be occupying the building
Carport	0 spaces
Concrete, asphalt batching plant (temporary)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Construction yard (temporary)	1 space per employee to be occupying the area
Electrical transmission line	0 spaces
Field or sales office, temporary	1 space per employee
Home occupation	0 spaces
Local utility distribution lines	0 spaces
Multiple-family residence	For residence 1-99 units, 1.5 spaces per unit For residence over 100 units, 1.5 spaces per unit with 20% being a covered space
Park, playground or recreation center (public)	1 space per acre plus additional parking per facility constructed as herein provided
Private open space as a part of a planned residential development	0 spaces required
Railroad track and right-of-way	1 space per employee
Residence hotel	1 space for each sleeping room per unit, plus 1 space for each 300 square feet of commercial floor area
Retirement housing	1 space for each 6 beds per unit
Sewage pumping station	0 spaces
Single-family dwelling, attached or detached	2 enclosed spaces per unit, must be attached to the main structure
Swimming pool, private	1 space for each 100 square feet of gross water surface and deck area
Telephone line	0 spaces
Townhouse or row dwelling	2 spaces per unit, 1 covered
Transit station or turnaround	1 space per intended user
Two-family dwelling	2 spaces per unit, 1 covered
Water pumping station or well	0 spaces

- (c) *Development requirements.*

Minimum lot area:	10,000 square feet or 1,500 square feet per DU, whichever is greater ¹
Minimum lot width:	For multifamily, townhouse and zero lot line lots, 20 linear feet per ground floor unit plus the side yard setback. For all other permitted uses, 60 linear feet.
Minimum lot depth:	120 linear feet
Minimum front yard:	25/35 linear feet ²
Minimum side yard:	8/25 linear feet ³
Minimum rear yard:	25 linear feet ⁴
Maximum ground coverage:	60/65 ⁵
Maximum density per acre:	15.0/25.0 DU
Height:	45 feet ⁶

¹ Minimum lot size for townhouses shall be 3,000 square feet per dwelling unit. Minimum lot size for all other permitted uses shall be 10,000 square feet or 1,500 square feet per dwelling unit, whichever is greater.

² The first number in the column is the required setback for a front yard abutting a residential street; the second number in the column is the required setback for a front yard abutting a collector or major street.

³ The first number in the column is the required setback for a side yard not abutting a street; the second number is the required setback for a side yard abutting a street. If a side yard is adjacent to a single-family residential district, there shall be a 25-foot setback and a 60-foot setback from the adjacent property line for buildings in excess of one story in height. If more than one building is located on the same lot, there shall be a ten-foot separation between buildings without openings (windows) and a 15-foot separation between buildings with openings.

⁴ If a rear yard is adjacent to a single-family residential district, there shall be a 25-foot setback and a 60-foot setback from the adjacent property line for buildings in excess of one story in height. If more than one building is located on the same lot, there shall be a ten-foot separation between buildings without openings (windows) and a 15-foot separation between buildings with openings.

⁵ The first number in the column refers to coverage by primary buildings; the second number refers to coverage by all buildings.

⁶ The height of any multifamily building sited on a lot adjacent to an area zoned for single-family dwellings or where single-family dwellings of one story in height exist shall be limited to one story for a distance of 60 feet from the single-family district boundary or the lot on which the single-family dwelling is located.

(d) *Specific uses.* The following specific uses are allowed in the MF district when authorized under the provisions of section 42-45:

USE	PARKING REGULATIONS
Assisted living facility	1 space per employee to be occupying the building
Bed and breakfast inn	2 enclosed spaces per unit, must be attached to main structure
Boarding home facility	1 space per employee to be occupying the building
Cemetery or mausoleum	1 space per employee plus 1 space for every 1,000 square feet of gross floor area
Child care center	1 space per ten pupils/clients (design capacity)

Church, rectory, place of worship	1 space for every 4 seats in the main auditorium
College or university	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Community center, private	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Community center, public	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Community home	1 space per employee to be occupying the building
Country club (private)	1 space for each 250 square feet of gross floor area or for every 5 members, whichever is greater
Dormitory	1 space for each 2 beds
Electrical substation	1 space per employee
Gas metering station	1 space per employee
Golf course	Minimum of 30 spaces
Hospital (acute care)	1 space for every 2 beds
Hospital (chronic care); long term health care facility	1 space for each 2 beds
Household care facility	1 space per employee
Household care institution	1 space per employee
Library	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Nursery school, kindergarten	1 space per 10 pupils/clients (design capacity)
Public or private franchised utility, excluding office buildings, garages, shops, railroad yards, loading yards, and warehouses	1 space per employee
Radio, TV or microwave operation, amateur. (See further regulations in section 42-55(i))	1 space per employee
Registered family home	1 space per employee
School, private (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
School, public (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
Servant's, caretaker's or guard's residence	1 space per unit
Service yards of government agency	1 space per employee
Sewage treatment plant	1 space per employee

Swimming pool, commercial	1 space for each 100 square feet of gross water surface and deck area
Water storage, elevated or ground	0 spaces
Water treatment plant	1 space per employee

- (e) *Additional parking requirements.* At least 20 percent of the parking required to be provided shall be designated visitor parking only. A minimum of 50 percent of the required parking spaces of a multifamily development shall be either an attached enclosed garage or a detached multi-car covered parking structure. Detached covered parking shall function unobtrusively and shall be compatible with the main buildings of the multifamily development in terms of materials design, style and color. Detached covered parking structures, if used, shall be located near the building served. No detached covered parking structure shall accommodate more than ten parking spaces or be located closer than ten feet to another parking structure. When garages are used within dwellings, one-car garages shall be a minimum of ten feet wide and 20 feet long.
- (f) *Leasing office/clubhouse required.* A leasing office shall be constructed with each multifamily development. A clubhouse, which shall be available to all residents of the development, with a minimum of 2,500 square feet in size shall be provided for any multifamily development of 200 units or less; a minimum of 3,500 square feet in size for 201 to 350 units; and 4,000 square feet for 351 or more units.
- (g) *General landscaping and screening provisions.*
- (1) A standard ten-foot wide landscaped screening buffer meeting the requirements of section 42-58(f) shall be constructed around the entire perimeter of the multifamily lot or premises. Not less than one tree shall be planted and maintained for each 25 linear feet or portion thereof of the landscaped buffer strip. Each tree used in landscaped open space buffer strips shall be not less than six feet in height upon planting and shall have a caliper of not less than two inches measured 12 inches from the ground.
 - (2) Border fencing of wood or masonry of not less than six feet in height shall be installed by the owner, builder or developer at the time of construction of any multifamily complex, along the property line on any perimeter not abutting a public street or right-of-way. This screening shall be maintained throughout the existence of the multifamily complex by the owner of the complex.
- (h) *Refuse facilities.* Every dwelling unit in a multifamily complex shall be located within 250 feet of a refuse facility, measured along the designated pedestrian and vehicular travel way. There shall be available at all times at least six cubic yards of refuse container per 30 multifamily dwelling units. For complexes with less than 30 units, no less than four cubic yards of refuse container shall be provided. Each refuse facility shall be screened from view on three sides from persons standing at ground level on the site or immediately adjoining property, by an opaque fence or wall of wood or masonry not less than six feet nor more than eight feet in height or by an enclosure within a building. Refuse containers shall be provided and maintained in a manner to satisfy city public health and sanitary regulations. Each refuse facility shall be located so as to provide safe and convenient pickup by refuse collection agencies.
- (i) *Special fire protection requirements.*
- (1) For multifamily densities of greater than 15 units per acre, each building in the development shall contain an automatic sprinkler system to be installed at the time of construction, and thereafter operated in accordance with currently applicable fire safety codes.
 - (2) In addition, each unit in any multistory design, regardless of density, shall be provided with two points of entry and exit with each providing separate access to places of safety in the event of fire or other emergency.
- (j) *Masonry requirements.*

-
- (1) All single-story buildings hereafter constructed or placed in the MF district shall have at least 75 percent of the exterior wall surface constructed of masonry and/or glass pane.
- (2) All buildings having more than a single story hereafter constructed or placed in the MF district shall have at least 50 percent of the exterior wall surface constructed of masonry and/or glass pane.
- (3) All additions hereafter constructed to buildings in the MF district shall have at least 50 percent of the exterior wall surface constructed of masonry and/or glass pane.
- (k) *Courts and open space requirements.*
- (1) *Courts.* Where an apartment building is erected so as to create inner courts, the faces of all opposite walls in such courts shall be a minimum distance of 30 feet apart and no balcony or canopy shall extend into such court area for a distance greater than five feet.
- (2) *Usable open space.* Each lot or parcel of land which is used for multifamily residences shall provide on the same lot or parcel of land usable open space in accordance with the table below:
- a. Usable open space requirements are as follows:
- | Number of Bedrooms or Sleeping Rooms | Square Feet |
|--------------------------------------|-------------|
| One or less | 600 |
| Each additional bedroom over one | 300 |
- b. In those instances where a parcel of land has been zoned for multifamily use with a specific use permit or planned development classification and the permitted densities do not conform exactly with those permitted in the MF district, usable open space shall be provided in accordance with that required for the multifamily zoning district which most closely approximates the density permitted under the SUP or PD.
- c. In meeting this requirement, a credit of three square feet may be applied for each square foot utilized for swimming pools and adjacent decks, patios, or lounge areas within ten feet of a pool; developed and equipped children's play areas; and usable portions of recreational buildings. Tennis courts are specifically excluded from this increased credit allowance. At the time of site plan approval, the city council may allow a credit not to exceed ten percent of the total required usable open space for adjacent and immediately accessible public parks. The combined credit for areas calculated at a three-to-one basis and for public parks shall not exceed 50 percent of the total usable open space for an individual lot or parcel of land.
- d. At the time of site plan approval, the city council may give full or partial credit for open areas that exceed the maximum slope, if it is determined that such areas are environmentally significant and that their preservation would enhance the development.
- (l) *Site plan required.* A site plan, meeting the requirements of section 42-56, site plan requirements, shall be required for each development application for any permitted use in the MF district.
- (Ord. No. 2015-005, § 1, 4-20-2015)

Sec. 42-29. C-1 commercial district—Office, light retail and neighborhood services.

- (a) *Purpose.* The C-1 district is a lower intensity commercial category providing a uniform set of standards for office facilities, neighborhood-type retail shopping facilities and general commercial activities of a service character. The C-1 district is established to accommodate the daily and frequent needs of the community. It is intended that properties in this zoning district be served by appropriate streets and be of such size that all parking and traffic maneuvering can take place on the commercial site.
- (b) *Permitted uses and parking regulations.* In the C-1 district, no building or land shall be used and no building shall be hereinafter erected, placed, reconstructed, altered or enlarged, unless otherwise provided in this chapter, except for the following uses:

USE	PARKING REGULATIONS
Accessory building to main use	1 space per employee to be occupying the building
Amusement, commercial (indoor or outdoor)	1 space for every 1,000 square feet of gross floor area
Antique shop	1 space for every 200 square feet of floor area
Arts, crafts store (inside sales)	1 space for every 200 square feet of floor area
Auto parts sales (inside)	1 space for every 200 square feet of floor area
Automobile service station (no garage or automobile repair facilities)	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Bakery and confectionary, retail sales	1 space per 300 square feet of gross floor area
Bank, savings and loan, credit union	1 space per 200 square feet of gross floor area
Bar, tavern, nightclub	1 space per 300 square feet of gross floor area
Barber school or college	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Barbershop	1 space per 200 square feet of gross floor area
Beauty culture school; cosmetology spec. shop	6 or 1 space per 300 square feet of gross floor area
Beauty shop	1 space per 200 square feet of gross floor area
Bed and breakfast inn	2 enclosed spaces per unit, must be attached to main structure
Bowling alley	Six spaces for each lane
Building materials, hardware (inside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Business service	1 space per 300 square feet of gross floor area
Candle manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Clinic, medical or dental	1 space per 200 square feet of gross floor area
Concrete, asphalt batching plant (temporary)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Construction yard (temporary)	1 space per employee to be occupying the area
Custom personal service shop	1 space per 200 square feet of gross floor area
Dance hall	1 space per 100 square feet of gross floor area

Discount, variety, or department store of not greater than 20,000 square feet floor space	1 space per 200 square feet of gross floor area
Drapery, needlework, or weaving shop	1 space per 300 square feet of gross floor area
Electrical substation	1 space per employee
Electrical transmission line	0 spaces
Field or sales office, temporary	1 space per employee
Florist	1 space per 300 square feet of gross floor area
Food store; grocery store with floor space not greater than 20,000 square feet	1 space per 300 square feet of gross floor area
Fraternal organization, lodge	1.25 spaces per 200 square feet
Fraternal organization, lodge or civic club	1.25 spaces per 200 square feet
Garage, private	1 space per employee to be occupying the garage
Gas metering station	1 space per employee
General merchandise indoor auction	1 space per 300 square feet of gross floor area
Gymnastic or dance studio	1 space for each three seats at maximum seating capacity, plus 1 space for each 200 square feet
Handcraft shop	1 space per 300 square feet of gross floor area
Health club; gymnasium	1 space per employee plus 1 space per 100 square feet of floor area
Hospital (chronic care); long term health care facility	1 space for each 2 beds
Laboratory, medical or dental	1 space per 300 square feet of gross floor area or 1 of the clinics
Laundry and cleaning, commercial	1 space per 300 square feet of gross floor area
Library	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Local utility distribution lines	0 spaces
Metal dealer, crafted precious	1 space per 300 square feet of gross floor area
Mobile food vendor	0 spaces
Mortuary or funeral home	1 space per 500 square feet of gross floor space in slumber rooms, parlors, or individual funeral service rooms
Motel, motor hotel, or motor lodge	1 space for each sleeping room, plus 1 space for each 300 square feet of commercial floor area
Museum or art gallery	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Nonprofit animal shelter	1 space per 200 square feet of floor area
Office, professional or general administrative	1 space per 300 square feet of gross floor area
Oil, gas, other mineral extraction	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space for each 1,000 square feet of gross floor area, whichever is greater
Park, playground or recreation center (public)	1 space per acre plus additional parking per facility constructed as herein provided
Parking lot or parking garage, automobile	1 space per employee, plus 1 space per vehicle to be parked
Personal service shop	1 space per 200 square feet of gross floor area
Pharmacy	1 space per 300 square feet of gross floor area
Post office, government and private	1 space per 300 square feet of gross floor area
Racquetball facilities	4 spaces for each court
Railroad track and right-of-way	1 space per employee
Residence hotel	1 space for each sleeping room per unit, plus 1 space for each 300 square feet of commercial floor area
Restaurant or cafeteria, with drive-in or drive-through service	1 parking space per 100 square feet of gross floor area
Restaurant or cafeteria, without drive-in or drive-through service	1 parking space per 100 square feet of gross floor area
School, commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
School, private (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
School, public (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
Sewage pumping station	0 spaces
Shopping center	1 space per 200 square feet of gross floor area. The total floor area used for restaurants and cafeterias (but not including private clubs) which exceeds 10 percent of the shopping center floor area, shall require an additional 1 parking space per 100 square feet of gross floor area
Studio (photographer, musician, artist)	1 space per 200 square feet of gross floor area
Tanning salon	1 space per 200 square feet of gross floor area
Telephone exchange	1 space per employee
Telephone line	0 spaces
Transit station or turnaround	1 space per intended user
Washateria	1 space per 200 square feet of gross floor area
Water pumping station or well	0 spaces
Water storage, ground	0 spaces

(c) *District restrictions.* The following restrictions shall apply to uses in the C-1 district.

- (1) The business shall be conducted wholly within an enclosed building;
- (2) Required yards shall not be used for display, sale, or storage of merchandise or for the storage of vehicles, equipment, containers, or refuse facilities;
- (3) All merchandise shall be sold at retail on the premises; and

-
- (4) Such use shall not be objectionable because of odor, excessive light, smoke, dust, noise, vibration, or similar nuisance.
- (d) *Development criteria.* Unless otherwise specifically provided in this section, the following development criteria shall apply to the C-1 district:
- (1) Every use, or any part thereof, that is not conducted within a building completely enclosed on all sides shall be enclosed within a wall or fence a minimum of six feet and a maximum of eight feet in height. Such wall or fence shall completely screen all operations conducted within such wall or fence from observation. No exterior storage area shall encroach into any of the required yards. All outside storage shall be placed upon an all-weather hard surface. The screening requirements set forth above shall not apply to:
 - a. Off-street parking of motor vehicles in operable condition;
 - b. Off-street loading;
 - c. Permitted display of merchandise for sale to the public; and
 - d. Drive-in type establishments.
 - (2) The first ten feet of the required front yard setback, measured from the property line shall be landscaped with trees, grass and shrubs, provided with pedestrian walks to the front of the building and shall be maintained in a neat and attractive condition. The balance of said required setback may be utilized for off-street parking.
 - (3) No loading of materials or products shall be permitted in the required front yard.
- (e) *Development requirements.*

Minimum lot area:	None
Minimum lot width:	None
Minimum lot depth:	80 linear feet
Minimum front yard:	25/35 linear feet ¹
Minimum side yard:	No side yard is required except that a side yard of not less than 15 feet shall be provided on the side of a lot abutting a residential district even when separated by an alley.
Minimum rear yard:	No rear yard is required except that a rear yard of not less than 25 feet or 20 percent of the depth of the lot, whichever is lesser, shall be provided upon that portion of a lot abutting or across a rear alley or street from a residential district.
Maximum ground coverage:	None
Maximum density per acre:	NA
Height:	35 linear feet ²

¹ The first number in the column is the required setback for a front yard abutting a residential street; the second number in the column is the required setback for a front yard abutting a collector or major street. The front yard setback shall be 45 feet where parking is allowed in front of the building. Accessory buildings shall have a 60-foot front yard setback.

² No building shall exceed 35 feet in height, except cooling towers, roof gables, chimneys, vent stacks, or mechanical equipment rooms, which may project not more than 12 feet beyond maximum building height. The height restrictions of this district shall not apply to church steeples.

- (f) *Specific uses.* The following specific uses are allowed in the C-1 district when authorized under the provisions of section 42-45:

USE	PARKING REGULATIONS
Arcade	1 space for every 200 square feet of floor area
Assisted living facility	1 space per employee to be occupying the building
Auto laundry	1 space per 200 square feet of floor space
Auto repair, minor	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Automobile and trailer sales area, new or used	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Boat sales and storage	1 space per 300 square feet of gross floor area
Building materials, hardware (outside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Cabinet and upholstery shop	1 space per 300 square feet of gross floor area
Carwash	1 space per employee
Cemetery or mausoleum	1 space per employee plus 1 space for every 1,000 square feet of gross floor area
Child care center	1 space per ten pupils/clients (design capacity)
Church, rectory, place of worship	1 space for every 4 seats in the main auditorium
Cleaning and dyeing, small shop	1 space per 300 square feet of gross floor area
College or university	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Community center, public or private	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Convenience store	1 space per 300 square feet of gross floor area or 32
Feed and farm supply (inside sales/storage)	1 space per 300 square feet of gross floor area
Furniture, appliance store	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Garden center (retail sales)	1 space per 200 square feet of gross floor area
General merchandise store	1 space per 200 square feet of gross floor area
Golf driving range	1 space per employee plus 1 space per 5,000 square feet of floor area
Greenhouse or plant nursery, commercial	1 space per 200 square feet of floor area
Greenhouse or plant nursery, noncommercial	1 space per employee
Heliport or heliastop	1 space if located on the ground
Hospital (acute care)	1 space for every 2 beds
Hotel, motel, motor hotel, or motor lodge	1 space for each sleeping room, unit or guest accommodation, plus 1 space for each 300 square feet of commercial floor area
Kennel (no outside pens)	1 space per 200 square feet of floor area
Medical supplies, sales and service	1 space per 300 square feet of gross floor area

Motorcycle sales and service	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Nursery school, kindergarten	1 space per 10 pupils/clients (design capacity)
Office center	1 space per 300 square feet of gross floor area
Office-showroom/warehouse	1 space per 1,000 square feet of gross floor area for storage and warehousing, plus 1 space for each 100 square feet of office, sales or display area
Pet shop	1 space per 300 square feet of gross floor area
Print shop	1 space per 300 square feet of gross floor area
Prison, jail or place of incarceration	1 space per employee plus 1 space for every 200 square feet of visitor floor area
Public or private franchised utility, excluding office buildings, garages, shops, railroad yards, loading yards, and warehouses	1 space per employee
Radio, TV or microwave operation, amateur or commercial. (See further regulations in section 42-55(i))	1 space per employee
Registered family home	1 space per employee
Retirement housing	1 space for each 6 beds per unit
School, trade or commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Second hand store, furniture/clothing	1 space per 200 square feet of gross floor area
Servant's, caretaker's or guard's residence	1 space per unit
Service yards of government agency	1 space per employee
Service, retail	1 space per 200 square feet of gross floor area
Sewage treatment plant	1 space per employee
Shooting range, target range	1 space per employee plus 1 space for every 5,000 square feet of floor area
Stadium or playfield	1 parking space for each 4 seats or bench seating spaces
Studio for radio and television	1 space per 200 square feet of gross floor area
Swimming pool, commercial or private	1 space for each 100 square feet of gross water surface and deck area
Taxidermist	1 space per 200 square feet of gross floor area
Theater (indoor)	1 space for each 4 seats or bench seating spaces
Tire dealer (with outside storage)	1 space for every 200 square feet of floor area
Tobacco sales	1 space per 200 square feet of gross floor area
Tool rental shop	1 space per 200 square feet of gross floor area
Vendor, stationary	1 space per 200 square feet of gross floor area
Veterinarian clinic (no outside pens)	1 space per 200 square feet of gross floor area
Washateria	1 space per 200 square feet of gross floor area
Water storage, elevated	0 spaces
Water treatment plant	1 space per employee

-
- (g) *Screening devices.* In the event that this district abuts or is adjacent to a lot zoned SF-1, SF-2, GH, MH-1, MH-2, MH-3, TF, or MF, no windows shall be permitted above ten feet on the building sides facing such residential district. In addition, a masonry or wood wall shall be constructed on the nonresidential property adjacent to the common property line. Except as provided by section 42-59, the wall shall have a minimum height of six feet above the average grade and shall taper to a height of three feet at the front building setback. Screening located exclusively along the front building set back must be an irrigated earthen berm, hedge, or decorative fencing only. This screening shall be maintained throughout the existence of the commercial use by the owner of the property.
- (h) *Masonry requirements.*
- (1) All single-story buildings hereafter constructed or placed in this district shall have at least 75 percent of their exterior wall surface constructed of masonry and/or glass pane.
 - (2) All buildings having more than a single story hereafter constructed or placed in the C-1 district shall have at least 50 percent of their exterior wall surface constructed of masonry and/or glass pane.
 - (3) All additions hereafter constructed to buildings in the C-1 district shall have at least 50 percent of their exterior wall surface constructed of masonry and/or glass pane.

(Ord. No. 2015-005, § 1, 4-20-2015)

Sec. 42-30. C-2 general commercial district.

- (a) *Purpose.* The C-2 district is intended to allow the development of areas that provide a greater number and mix of retail and commercial uses. The uses permitted in the C-2 district are not generally carried on completely within a building or structure and an expanded range of service and repair uses is permitted. This district is reserved for areas of adequate size and location so that its broad range of high intensity land uses will not cause or create nuisances to adjoining zoning districts.
- (b) *Permitted uses and parking regulations.* In the C-2 district, no building or land shall be used and no building shall be hereinafter erected, placed, reconstructed, altered or enlarged, unless otherwise provided in this chapter, except for the following uses:

USE	PARKING REGULATIONS
Accessory building to main use	1 space per employee to be occupying the building
Amusement, commercial (indoor or outdoor)	1 space for every 1,000 square feet of gross floor area
Antique shop	1 space for every 200 square feet of floor area
Arts, crafts store (indoor or outdoor sales)	1 space for every 200 square feet of floor area
Assisted living facility	1 space per employee, plus 1 space for each 6 beds
Auto laundry	1 space per 200 square feet of floor space
Auto parts sales (inside)	1 space for every 200 square feet of floor area
Auto repair, minor	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Automobile and trailer sales area, new or used	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Automobile service station	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Bakery and confectionary, retail sales	1 space per 300 square feet of gross floor area
Bank, savings and loan, credit union	1 space per 200 square feet of gross floor area
Bar, tavern, nightclub	1 space per 300 square feet of gross floor area
Barber school or college	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Barbershop	1 space per 200 square feet of gross floor area
Beauty culture school; cosmetology spec. shop	6 or 1 space per 300 square feet of gross floor area
Beauty shop	1 space per 200 square feet of gross floor area
Bed and breakfast inn	2 enclosed spaces per unit, must be attached to main structure
Boat sales and storage	1 space per 300 square feet of gross floor area
Bowling alley	Six spaces for each lane
Building materials, hardware (inside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Bus terminal	1 space per intended user
Business service	1 space per 300 square feet of gross floor area
Candle manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

Created: 2021-12-16 09:36:44 [EST]

	space per 1,000 square feet of gross floor area, whichever is greater
Carwash	1 space per employee
Child care center	1 space per ten pupils/clients (design capacity)
Civic center	10 spaces plus 1 space for each 300 square feet of floor area in excess of 2,000 square feet. In an auditorium is included as part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Clinic, medical or dental	1 space per 200 square feet of gross floor area
Community center, private	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Community center, public	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Concrete, asphalt batching plant (temporary)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Construction yard (temporary)	1 space per employee to be occupying the area
Convenience store	1 space per 300 square feet of gross floor area or 32
Custom personal service shop	1 space per 200 square feet of gross floor area
Dance hall	1 space per 100 square feet of gross floor area
Discount, variety, or department store	1 space per 200 square feet of gross floor area
Drapery, needlework, or weaving shop	1 space per 300 square feet of gross floor area
Electrical substation	1 space per employee
Electrical transmission line	0 spaces
Engine and motor repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Exhibition area	1 space per employee, plus 1 space for each 2 patrons based on maximum patron load
Farm equipment, sales and service	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Feed and farm supply (inside sales/storage)	1 space per 300 square feet of gross floor area
Feed and farm supply (outside sales/storage)	1 space per 300 square feet of gross floor area
Field or sales office, temporary	1 space per employee
Florist	1 space per 300 square feet of gross floor area
Food store; grocery store	1 space per 300 square feet of gross floor area

Fraternal organization, lodge or civic club	1.25 spaces per 200 square feet
Furniture and appliance repair and storage	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Furniture, appliance store	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Garage, private	1 space per employee to be occupying the garage
Garden center (retail sales)	1 space per 200 square feet of gross floor area
Gas metering station	1 space per employee
General merchandise indoor auction	1 space per 300 square feet of gross floor area
General merchandise store	1 space per 200 square feet of gross floor area
Greenhouse or plant nursery, commercial	1 space per 200 square feet of floor area
Greenhouse or plant nursery, noncommercial	1 space per employee
Gymnastic or dance studio	1 space for each three seats at maximum seating capacity, plus 1 space for each 200 square feet
Handcraft shop	1 space per 300 square feet of gross floor area
Health club; gymnasium	1 space per employee plus 1 space per 100 square feet of floor area
Heliport or heliport	1 space if located on the ground
Hospital (acute care)	1 space for every 2 beds
Hospital (chronic care); long term health care facility	1 space for each 2 beds
Laboratory, medical or dental	1 space per 300 square feet of gross floor area or 1 of the clinics
Laundry and cleaning, commercial	1 space per 300 square feet of gross floor area
Library	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Liquefied petroleum gas, storage and sale (no bulk plants)	1 space per employee plus 1 space for every 2,000 square feet of floor area
Local utility distribution lines	0 spaces
Medical supplies, sales and service	1 space per 300 square feet of gross floor area
Metal dealer, crafted precious	1 space per 300 square feet of gross floor area
Mobile food vendor	0 spaces
Mortuary or funeral home	1 space per 500 square feet of gross floor space in slumber rooms, parlors, or individual funeral service rooms
Motel, motor hotel, or motor lodge	1 space for each sleeping room, plus 1 space for each 300 square feet of commercial floor area
Motorcycle sales and service	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Museum or art gallery	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and

	additional parking provided on the basis of 1 space for each 4 seats that it contains
Nonprofit animal shelter	1 space per 200 square feet of floor area
Nursery school, kindergarten	1 space per 10 pupils/clients (design capacity)
Office center	1 space per 300 square feet of gross floor area
Office, professional or general administrative	1 space per 300 square feet of gross floor area
Office-showroom/warehouse	1 space per 1,000 square feet of gross floor area for storage and warehousing, plus 1 space for each 100 square feet of office, sales or display area
Oil, gas, other mineral extraction	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Park, playground or recreation center (public)	1 space per acre plus additional parking per facility constructed as herein provided
Parking lot or parking garage, automobile	1 space per employee, plus 1 space per vehicle to be parked
Pawn shop	1 space per 300 square feet of gross floor area
Personal service shop	1 space per 200 square feet of gross floor area
Pet shop	1 space per 300 square feet of gross floor area
Pharmacy	1 space per 300 square feet of gross floor area
Plumbing service	1 space per 300 square feet of gross floor area
Plumbing, heating, refrigeration or air conditioning business	1 space per 300 square feet of gross floor area
Post office, government and private	1 space per 300 square feet of gross floor area
Public or private franchised utility, excluding office buildings, garages, shops, railroad yards, loading yards, and warehouses	1 space per employee
Quick oil change facility	1 space per employee
Quick tune-up facility	1 space per employee
Racquetball facilities	4 spaces for each court
Radio, TV or microwave operation, amateur or commercial. (See further regulations in section 42-55(i))	1 space per employee
Railroad station	1 space per employee, and if station is for public travel, 1 space for every 1,000 square feet of areas meant for public travel
Railroad Team track and right-of-way	1 space per employee
Railroad track and right-of-way	1 space per employee
Residence hotel	1 space for each sleeping room per unit, plus 1 space for each 300 square feet of commercial floor area
Restaurant or cafeteria, with drive-in or drive-through service	1 parking space per 100 square feet of gross floor area
Restaurant or cafeteria, without drive-in or drive-through service	1 parking space per 100 square feet of gross floor area
School, commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area

School, private (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
School, public (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
School, trade	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Second hand store, furniture/clothing	1 space per 200 square feet of gross floor area
Service, retail	1 space per 200 square feet of gross floor area
Sewage pumping station	0 spaces
Shopping center	1 space per 200 square feet of gross floor area. The total floor area used for restaurants and cafeterias (but not including private clubs) which exceeds 10 percent of the shopping center floor area, shall require an additional 1 parking space per 100 square feet of gross floor area
Shops, office and/or storage area of public or private utility	1 space per employee
Stadium or playfield	1 parking space for each 4 seats or bench seating spaces
Studio (photographer, musician, artist)	1 space per 200 square feet of gross floor area
Studio for radio and television	1 space per 200 square feet of gross floor area
Swimming pool, commercial	1 space for each 100 square feet of gross water surface and deck area
Tanning salon	1 space per 200 square feet of gross floor area
Tattoo parlor/body piercing studio	1 space per 200 square feet of gross floor area
Taxidermist	1 space per 200 square feet of gross floor area
Teen club	1 space for every 1,000 square feet of floor area
Telephone exchange	1 space per employee
Telephone line	0 spaces
Theater (indoor)	1 space for each 4 seats or bench seating spaces
Tire dealer (with outside storage)	1 space for every 200 square feet of floor area
Tool rental shop	1 space per 200 square feet of gross floor area
Transit station or turnaround	1 space per intended user
Truck sales	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Washateria	1 space per 200 square feet of gross floor area
Water pumping station or well	0 spaces
Water storage, elevated or ground	0 spaces
Water treatment plant	1 space per employee

(c) *District restrictions.* The following restrictions shall apply to uses in the C-2 district.

(1) The business shall be conducted wholly within an enclosed building;

-
- (2) Required yards shall not be used for display, sale, or storage of merchandise or for the storage of vehicles, equipment, containers, or refuse facilities;
 - (3) All merchandise shall be sold at retail on the premises; and
 - (4) Such use shall not be objectionable because of odor, excessive light, smoke, dust, noise, vibration, or similar nuisance.
- (d) *Development criteria.* Unless otherwise specifically provided in this section, the following development criteria shall apply to this district:
- (1) Every use, or any part thereof, that is not conducted within a building completely enclosed on all sides shall be enclosed within a wall or fence a minimum of six feet and a maximum of ten feet in height. Such wall or fence shall completely screen all operations conducted within such wall or fence from observation. No exterior storage area shall encroach into any of the required yards. All outside storage shall be placed upon an all-weather hard surface. The screening requirements set forth above shall not apply to:
 - a. Off-street parking of motor vehicles in operable condition;
 - b. Off-street loading;
 - c. Permitted display of merchandise for sale to the public; and
 - d. Establishments of the drive-in type.
 - (2) The first ten feet of the required front yard setback, measured from the property line shall be landscaped with trees, grass and shrubs, provided with pedestrian walks to the front of the building and maintained in a neat and attractive condition. The balance of said required setback may be utilized for off-street parking.
 - (3) No loading or storage of material or products shall be permitted in the required front yard.
- (e) *Specific uses.* The following specific uses are allowed in the C-2 district when authorized under the provisions of section 42-45:

USE	PARKING REGULATIONS
Air conditioning and refrigeration contractor	1 space for every 200 square feet of floor area
Airport, landing field	1 space per employee, plus 1 space per stored vehicle
Arcade	1 space for every 200 square feet of floor area
Assisted living facility	1 space per employee to be occupying the building
Auto leasing	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Brew pub	1 space per 100 square feet of gross floor area
Building materials, hardware (outside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Cabinet and upholstery shop	1 space per 300 square feet of gross floor area
Cemetery or mausoleum	1 space per employee plus 1 space for every 1,000 square feet of gross floor area
Church, rectory, place of worship	1 space for every 4 seats in the main auditorium
Cleaning and dyeing, small shop	1 space per 300 square feet of gross floor area
College or university	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area

Community home	1 space per employee to be occupying the building
Electric power generating plant	1 space per employee
Fairgrounds	1 space per employee, plus 1 space for each 2 patrons based on maximum patron load
Farm seed and/or fertilizer sales/storage (inside)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Flea market	1.5 spaces for each 200 square feet of gross floor area or market area
Food products processing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Golf driving range	1 space per employee plus 1 space per 5,000 square feet of floor area
Heavy machinery sales	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Hotel, motel, motor hotel, or motor lodge	1 space for each sleeping room, unit or guest accommodation, plus 1 space for each 300 square feet of commercial floor area
Kennel (with or without outside pens)	1 space per 200 square feet of floor area
Microbrewery	1 space per 200 square feet of floor area
Microdistillery	1 space per 200 square feet of floor area
Newspaper printing	1 space per 300 square feet of gross floor area
Parking lot or parking garage, truck parking	1 space per employee, plus 1 space per vehicle to be parked
Pipe sales and supply	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Print shop	1 space per 300 square feet of gross floor area
Prison, jail or place of incarceration	1 space per employee plus 1 space for every 200 square feet of visitor floor area
Pump sales, repair and maintenance	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Registered family home	1 space per employee
Retirement housing	1 space for each 6 beds per unit
Sand, gravel, stone or earth sales	1 space per 300 square feet of gross floor area
School, trade or commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Self storage; mini-warehouse	4 spaces per complex, plus 1 space per 5,000 square feet of storage area

Servant's, caretaker's or guard's residence	1 space per unit
Service yards of government agency	1 space per employee
Sewage treatment plant	1 space per employee
Shooting range, target range	1 space per employee plus 1 space for every 5,000 square feet of floor area
Solid waste transfer station	1 space per employee
Storage/wholesale warehouse, light	1 space for each 2 employees, or 1 space per 1,000 square feet of total gross floor area, whichever is greater
Swimming pool, private	1 space for each 100 square feet of gross water surface and deck area
Theater (outdoor)	1 space for each 4 seats or bench seating spaces
Tire dealer (no outside storage)	1 space for every 200 square feet of floor area
Tire retreading and recapping	1 space per employee
Tobacco sales	1 space per 200 square feet of gross floor area
Trailer rental	1 space per 200 square feet of gross floor area
Travel trailer, manufactured housing or manufactured home display and sales	1 space per 200 square feet of gross floor area
Truck and bus leasing	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Truck or motor freight terminal	1 space per employee plus one space for each intended vehicle to be accommodated
Vendor, stationary	1 space per 200 square feet of gross floor area
Veterinarian clinic (with or without outside pens)	1 space per 200 square feet of gross floor area

(f) *Development requirements.*

Minimum lot area:	None
Minimum lot width:	None
Minimum lot depth:	80 linear feet
Minimum front yard:	25/35 linear feet ¹
Minimum side yard:	No side yard is required except that a side yard of not less than 15 feet shall be provided on the side of a lot abutting a residential district even when separated by an alley.
Minimum rear yard:	No rear yard is required except that a rear yard of not less than 25 feet or 20 percent of the depth of the lot, whichever is lesser, shall be provided upon that portion of a lot abutting or across a rear alley or street from a residential district.
Maximum ground coverage:	None
Maximum density per acre:	NA
Height:	45 linear feet ²

¹ The first number in the column is the required setback for a front yard abutting a residential street; the second number in the column is the required setback for a front yard abutting a collector or major street.

² No building shall exceed 45 feet in height, except cooling towers, roof gables, chimneys, vent stacks, or mechanical equipment rooms, which may project not more than 12 feet beyond maximum building height. The height restrictions of this district shall not apply to church steeples.

(g) *Screening devices.* In the event that the C-2 district abuts or is adjacent to a lot zoned SF-1, SF-2, GH, MH-1, MH-2, MH-3, TF, or MF, no windows shall be permitted above ten feet on the building sides facing such residential district. In addition, a masonry or wood wall shall be constructed on the nonresidential property adjacent to the common property line. Except as provided by section 42-59, the wall shall have a minimum height of six feet above the average grade and shall taper to a height of three feet at the front building setback. Screening located exclusively along the front building set back must be an irrigated earthen berm, hedge, or decorative fencing only. This screening shall be maintained throughout the existence of the commercial use by the owner of the property.

(h) *Masonry requirements.*

(1) All single-story buildings hereafter constructed or placed in the C-2 district shall have at least 75 percent of their exterior wall surface constructed of masonry and/or glass pane.

(2) All buildings having more than a single story hereafter constructed or placed in the C-2 district shall have at least 50 percent of their exterior wall surface constructed of masonry and/or glass pane.

(3) All additions hereafter constructed to buildings in the C-2 district shall have at least 50 percent of their exterior wall surface constructed of masonry and/or glass pane.

(Ord. No. 2015-005, § 1, 4-20-2015)

Sec. 42-31. M-1 light manufacturing/industrial district.

- (a) *Purpose.* The M-1 district permits and regulates those uses of the land that cause the manufacturing, assembly, processing, storage, distribution, sale or repair of materials, goods, parts, products, equipment, machinery, and other such operations incidental to industrial uses. This district is intended to allow certain storage, wholesale and industrial uses such as the fabrication of materials and specialized manufacturing and research institutions. All uses in the M-1 district must be compatible with surrounding uses so as not to adversely affect the use, development or enjoyment of surrounding properties.
- (b) *Permitted uses and parking regulations.* In the M-1 district, no building or land shall be used and no building shall be hereinafter erected, placed, reconstructed, altered or enlarged, unless otherwise provided in this chapter, except for the following uses:

USE	PARKING REGULATIONS
Accessory building to main use	1 space per employee to be occupying the building
Advertising displays manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Air conditioning and refrigeration contractor	1 space for every 200 square feet of floor area
Airport, landing field	1 space per employee, plus 1 space per stored vehicle
Amusement, commercial (outdoor)	1 space for every 1,000 square feet of gross floor area
Apparel and other products assembled from finished textiles	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Arts, crafts store (outdoor sales)	1 space for every 200 square feet of floor area or
Auto laundry	1 space per 200 square feet of floor space
Auto leasing	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Auto paint and body shop	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Auto parts sales (inside or outside)	1 space for every 200 square feet of floor area
Auto repair, major	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Auto storage	1 space per employee, plus 1 space per vehicle to be stored
Automobile and trailer sales area, new or used	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Bakery and confectionary, commercial	1 space per 300 square feet of gross floor area
Bar, tavern, nightclub	1 space per 300 square feet of gross floor area

Barber school or college	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Beauty culture school; cosmetology spec. shop	6 or 1 space per 300 square feet of gross floor area
Boat sales and storage	1 space per 300 square feet of gross floor area
Boats, building or repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Bookbinding, except hand binding	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Bottling works	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Bowling alley	Six spaces for each lane
Brooms or brushes, manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Building materials (inside or outside storage)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Building materials, hardware (inside or outside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Bus terminal	1 space per intended user
Business service	1 space per 300 square feet of gross floor area
Cabinet and upholstery shop	1 space per 300 square feet of gross floor area
Cameras or other photographic equipment	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Carpet manufacturing or cleaning	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Carwash	1 space per employee
Ceramics, stone, glass, marble or porcelain products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

Civic center	10 spaces plus 1 space for each 300 square feet of floor area in excess of 2,000 square feet. In an auditorium is included as part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Cleaning and dyeing, small shop	1 space per 300 square feet of gross floor area
Cleaning and dyeing; dry cleaning plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Community center, public or private	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Concrete, asphalt batching plant (temporary)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Construction yard (temporary)	1 space per employee to be occupying the area
Contractor's shop and storage yard	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Cosmetic manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Country club (private)	1 space for each 250 square feet of gross floor area or for every 5 members, whichever is greater
Dance hall	1 space per 100 square feet of gross floor area
Drapery, needlework, or weaving shop	1 space per 300 square feet of gross floor area
Electrical appliances, supplies, and machinery, assembly or manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Electrical substation	1 space per employee
Electrical transmission line	0 spaces
Electronic products, assembly	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Engine and motor repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Exhibition area	1 space per employee, plus 1 space for each 2 patrons based on maximum patron load
Fairgrounds	1 space per employee, plus 1 space for each 2 patrons based on maximum patron load
Farm equipment, sales and service	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Farm seed and/or fertilizer sales/storage (inside)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Farm, ranch, or orchard	1 space per employee
Feed and farm supply (inside or outside sales/storage)	1 space per 300 square feet of gross floor area
Field or sales office, temporary	1 space per employee
Flea market	1.5 spaces for each 200 square feet of gross floor area or market area
Food store; grocery store	1 space per 300 square feet of gross floor area
Fraternal organization, lodge	1.25 spaces per 200 square feet
Fraternal organization, lodge or civic club	1.25 spaces per 200 square feet
Fur good manufacturing (not including tanning and dyeing)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Furniture and appliance repair and storage	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Furniture and upholstery manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Furniture, appliance store	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Garage, private	1 space per employee to be occupying the garage
Garden center (retail sales)	1 space per 200 square feet of gross floor area
Gas metering station	1 space per employee
General commercial plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
General manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Glass products	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Golf course	Minimum of 30 spaces
Golf driving range	1 space per employee plus 1 space per 5,000 square feet of floor area
Greenhouse or plant nursery, commercial	1 space per 200 square feet of floor area
Greenhouse or plant nursery, noncommercial	1 space per employee
Gymnastic or dance studio	1 space for each three seats at maximum seating capacity, plus 1 space for each 200 square feet
Handcraft shop	1 space per 300 square feet of gross floor area
Hatchery	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Health club; gymnasium	1 space per employee plus 1 space per 100 square feet of floor area
Heavy machinery sales	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Heliport or heliostat	1 space if located on the ground
Hospital (acute care)	1 space for every 2 beds
Hospital (chronic care); long term health care facility	1 space for each 2 beds
Household appliance products assembly and manufacturing from prefabricated parts	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Ice production, dry or natural	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Industrial park	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Jute, hemp, sisal or oakum products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Kennel (with or without outside pens)	1 space per 200 square feet of floor area

Laboratory, medical or dental	1 space per 300 square feet of gross floor area or 1 of the clinics
Laboratory, scientific or research	1 space per 300 square feet of gross floor area
Laundry and cleaning, commercial	1 space per 300 square feet of gross floor area
Laundry plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Library	10 spaces plus 1 additional space for each 300 square feet of gross floor area in excess of 2,000 square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Light manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Liquefied petroleum gas, storage and sale (no bulk plants)	1 space per employee plus 1 space for every 2,000 square feet of floor area
Local utility distribution lines	0 spaces
Mattress manufacturing or renovation	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Meat processing/locker plant/frozen food products	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Medical supplies, sales and service	1 space per 300 square feet of gross floor area
Metal dealer, crafted precious	1 space per 300 square feet of gross floor area
Metal dealer, secondhand	1 space per 300 square feet of gross floor area
Metal fabrication	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Mobile food vendor	0 spaces
Motorcycle sales and service	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Musical instrument manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Newspaper printing	1 space per 300 square feet of gross floor area
Nonprofit animal shelter	1 space per 200 square feet of floor area
Office-showroom/warehouse	1 space per 1,000 square feet of gross floor area for storage and warehousing, plus 1 space for each 100 square feet of office, sales or display area
Oil, gas, other mineral extraction	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Orthopedic or medical appliance manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Park, playground or recreation center (public)	1 space per acre plus additional parking per facility constructed as herein provided
Parking lot or parking garage, automobile	1 space per employee, plus 1 space per vehicle to be parked
Parking lot or parking garage, truck parking	1 space per employee, plus 1 space per vehicle to be parked
Plumbing service	1 space per 300 square feet of gross floor area
Plumbing, heating, refrigeration or air conditioning business	1 space per 300 square feet of gross floor area
Portable building sales	1 space per 300 square feet of gross floor area
Post office, government and private	1 space per 300 square feet of gross floor area
Print shop	1 space per 300 square feet of gross floor area
Public or private franchised utility, excluding office buildings, garages, shops, railroad yards, loading yards, and warehouses	1 space per employee
Pump sales, repair and maintenance	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Quick oil change facility	1 space per employee
Quick tune-up facility	1 space per employee
Racquetball facilities	4 spaces for each court
Radio, TV or microwave operation, amateur or commercial. (See further regulations in section 42-55(i))	1 space per employee
Railroad station	1 space per employee, and if station is for public travel, 1 space for every 1,000 square feet of areas meant for public travel
Railroad Team track and right-of-way	1 space per employee
Railroad track and right-of-way	1 space per employee

Restaurant or cafeteria, with drive-in or drive-through service	1 parking space per 100 square feet of gross floor area
Restaurant or cafeteria, without drive-in or drive-through service	1 parking space per 100 square feet of gross floor area
Sand, gravel, stone or earth sales	1 space per 300 square feet of gross floor area
School, commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
School, trade	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
School, trade or commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Scrap tire facility	1 space per employee
Second hand store, furniture/clothing	1 space per 200 square feet of gross floor area
Self storage; mini-warehouse	4 spaces per complex, plus 1 space per 5,000 square feet of storage area
Service yards of government agency	1 space per employee
Service, retail	1 space per 200 square feet of gross floor area
Sewage pumping station	0 spaces
Sexually oriented business	1 space per 200 square feet of gross floor area
Shops, office and/or storage area of public or private utility	1 space per employee
Sporting and athletic equipment manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Stadium or playfield	1 parking space for each 4 seats or bench seating spaces
Storage/wholesale warehouse, light	1 space for each 2 employees, or 1 space per 1,000 square feet of total gross floor area, whichever is greater
Telephone exchange	1 space per employee
Tattoo parlor/body piercing studio	1 space per 200 square feet of gross floor area
Telephone line	0 spaces
Theater (indoor or outdoor)	1 space for each 4 seats or bench seating spaces
Tire dealer (with or without outside storage)	1 space for every 200 square feet of floor area
Tire retreading and recapping	1 space per employee
Tool rental shop	1 space per 200 square feet of gross floor area
Tools or hardware manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Toys and novelty products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

Trailer rental	1 space per 200 square feet of gross floor area
Transit station or turnaround	1 space per intended user
Travel trailer, manufactured housing or manufactured home display and sales	1 space per 200 square feet of gross floor area
Truck and bus repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Truck or motor freight terminal	1 space per employee plus one space for each intended vehicle to be accommodated
Truck sales	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Veterinarian clinic (with or without outside pens)	1 space per 200 square feet of gross floor area
Water pumping station or well	0 spaces
Water storage, elevated or ground	0 spaces
Water treatment plant	1 space per employee
Window shade, awnings, Venetian blind manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

(c) *Development criteria.* Unless otherwise specifically provided in this section, the following development criteria shall apply to this district:

- (1) Every use, or any part thereof, that is not conducted within a building completely enclosed on all sides shall be enclosed within a wall or fence a minimum of six feet and a maximum of ten feet in height. Such wall or fence shall completely screen all operations conducted within such wall or fence from observation. No exterior storage area shall encroach into any of the required yards. All outside storage shall be placed upon an all-weather hard surface. The screening requirements set forth above shall not apply to:
 - a. Off-street parking of motor vehicles in operable condition;
 - b. Off-street loading;
 - c. Permitted display of merchandise for sale to the public; and
 - d. Establishments of the drive-in type.
- (2) The first 15 feet of the required front yard setback, measured from the property line shall be landscaped with trees, grass and shrubs, provided with pedestrian walks to the front of the building and maintained in a neat and attractive condition. The balance of said required setback may be utilized for off-street parking.
- (3) No loading or storage of material or products shall be permitted in the required front yard.

(d) *Specific uses.* The following specific uses are allowed in the M-1 district when authorized by the board of adjustment under the provisions of section 42-45:

USE	PARKING REGULATIONS
Arcade	1 space for every 200 square feet of floor area

Auto repair, minor	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Auto wrecking yard or junkyard	1 space for every 1,000 square feet of floor area
Automobile service station	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Brick, tile, pottery or terra cotta manufacturing, other than handcraft	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Candle manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Cemetery or mausoleum	1 space per employee plus 1 space for every 1,000 square feet of gross floor area
Coal, coke or wood yard	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
College or university	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Community home	1 space per employee to be occupying the building
Concrete, asphalt batching plant (permanent)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Convenience store	1 space per 300 square feet of gross floor area or 32
Custom personal service shop	1 space per 200 square feet of gross floor area
Dairy products processing, manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Discount, variety, or department store	1 space per 200 square feet of gross floor area
Drugs or pharmaceutical products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Dyestuff manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Electric power generating plant	1 space per employee
Electronic products, manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Factory outlet retail or wholesale store on same premises as manufacturing company	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Farm seed and/or fertilizer sales/storage (outside)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Florist	1 space per 300 square feet of gross floor area
Food products processing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Junkyard or salvage yard	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Mill (grain, flour, food products)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Mortuary or funeral home	1 space per 500 square feet of gross floor space in slumber rooms, parlors, or individual funeral service rooms
Oil field service	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Oilcloth or linoleum manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Paint, oil, shellac, turpentine or varnish manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

Pawn shop	1 space per 300 square feet of gross floor area
Petroleum products, sales (wholesale)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Pipe sales and supply	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Plastic products manufacturing (not including processing of raw materials)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Prison, jail or place of incarceration	1 space per employee plus 1 space for every 200 square feet of visitor floor area
Racetrack	1 space for every 4 seats or bench seating
Railroad freight terminals, railroad switching and classification yards, repair shops and roundhouses	1 space per employee
Rodeo arena and grounds	1 space for every 4 seats or bench seating
School, private (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
School, public (primary and/or secondary)	1 space for each four seats in the main auditorium or 1 space for each classroom plus 1 space for each 2 students, whichever is greater
Servant's, caretaker's or guard's residence	1 space per unit
Sewage treatment plant	1 space per employee
Sewage treatment plant	1 space per employee
Shooting range, target range	1 space per employee plus 1 space for every 5,000 square feet of floor area
Solid waste transfer station	1 space per employee
Solid waste transfer station	1 space per employee
Steel fabrication	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Storage/wholesale warehouse, heavy	1 space for each 2 employees, or 1 space per 1,000 square feet of total gross floor area, whichever is greater
Studio for radio and television	1 space per 200 square feet of gross floor area
Swimming pool, commercial or private	1 space for each 100 square feet of gross water surface and deck area
Taxidermist	1 space per 200 square feet of gross floor area
Tire recapping, vulcanizing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles

	used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Truck and bus leasing	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Vendor, stationary	1 space per 200 square feet of gross floor area
Washateria	1 space per 200 square feet of gross floor area

(e) *Development requirements.*

Minimum lot area:	None
Minimum lot width:	50 linear feet
Minimum lot depth:	80 linear feet
Minimum front yard:	A 25-foot front yard is required except that a front yard of not less than 50 feet shall be provided upon that portion of a lot abutting or across a street or alley from property in a residential or commercial district.
Minimum side yard:	No side yard is required except that a side yard or a side street yard of not less than 25 feet in width shall be provided on the side of the lot abutting a residential or commercial district.
Minimum rear yard:	No rear yard is required except that a rear yard of not less than 50 feet in depth shall be provided upon that portion of a lot abutting or across a rear street or alley from a residential district, except that such rear yard requirement shall be 25 feet in depth where the property in the residential district backs up to the rear street.
Maximum ground coverage:	None
Maximum density per acre:	NA
Height:	45 linear feet ¹

¹ No building shall exceed 45 feet in height, except cooling towers, roof gables, chimneys, vent stacks, or mechanical equipment rooms, which may project not more than 12 feet beyond maximum building height. The height restrictions of this district shall not apply to church steeples.

- (f) *Screening devices.* In the event that the M-1 district abuts or is adjacent to a lot zoned SF-1, SF-2, GH, MH-1, MH-2, MH-3, TF, or MF, no windows shall be permitted above ten feet on the building sides facing such residential district. In addition, a masonry or wood wall shall be constructed on the nonresidential property adjacent to the common property line. Except as provided by section 42-59, the wall shall have a minimum height of six feet above the average grade. Screening located exclusively along the front building set back must be an irrigated earthen berm, hedge, or decorative fencing only. This screening shall be maintained throughout the existence of the manufacturing/industrial use by the owner of the property.

(g) *Masonry requirements.*

- (1) All single-story buildings hereafter constructed or placed in this district shall have at least 75 percent of those exterior wall surfaces fronting a public street constructed of masonry and/or glass pane.

-
- (2) All buildings having more than a single story hereafter constructed or placed in the district shall have at least 50 percent of those exterior wall surfaces fronting a public street constructed of masonry and/or glass pane.
 - (3) All additions hereafter constructed to buildings in this district shall have at least 50 percent of those exterior wall surfaces fronting a public street constructed of masonry and/or glass pane.
 - (h) *Site plan required.* A site plan, meeting the requirements of section 42-56, site plan requirements, shall be required for each development application for any permitted use in the M-1 district.
- (Ord. No. 2015-005, § 1, 4-20-2015)

Sec. 42-32. M-2 heavy manufacturing/industrial district.

- (a) *Purpose.* The M-2 district is designed to accommodate most industrial uses and is the most intensive use classification within the city. This district is intended for those uses that without proper regulation would manifest clear negative impacts on surrounding land uses and as such must be sited to avoid environmental degradation.
- (b) *Permitted uses and parking regulations.* In the M-2 district, no building or land shall be used and no building shall be hereinafter erected or placed, reconstructed, altered or enlarged, unless otherwise provided in this chapter, except for the following uses:

USE	PARKING REGULATIONS
Accessory building to main use	1 space per employee to be occupying the building
Acetylene gas manufacturing or storage	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Acid manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Advertising displays manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Air conditioning and refrigeration contractor	1 space for every 200 square feet of floor area
Airport, landing field	1 space per employee, plus 1 space per stored vehicle
Alcohol manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Ammonia, bleach or chlorine manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Amusement, commercial (indoor or outdoor)	1 space for every 1,000 square feet of gross floor area
Apparel and other products assembled from finished textiles	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Arsenal	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Asphalt manufacturing or refining	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Auto paint and body shop	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Auto storage	1 space per employee, plus 1 space per vehicle to be stored
Automobile and trailer sales area, new or used	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Bag cleaning	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Bakery and confectionary, commercial	1 space per 300 square feet of gross floor area
Bar, tavern, nightclub	1 space per 300 square feet of gross floor area
Blast furnace	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Boats, building or repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Boiler works	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Bookbinding, except hand binding	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Bottling works	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Brick, tile, pottery or terra cotta manufacturing, other than handcraft	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Brooms or brushes, manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Building materials (inside or outside storage)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Building materials, hardware (outside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Business service	1 space per 300 square feet of gross floor area
Cabinet and upholstery shop	1 space per 300 square feet of gross floor area
Cameras or other photographic equipment	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Candle manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Carpet manufacturing or cleaning	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Celluloid manufacturing or treatment	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Cement, lime, gypsum or plaster of Paris manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Ceramics, stone, glass, marble or porcelain products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Civic center	10 spaces plus 1 space for each 300 square feet of floor area in excess of 2,000 square feet. In an auditorium is included as part of the building, its floor

	area shall be deducted from the total and additional parking provided on the basis of 1 space for each 4 seats that it contains
Cleaning and dyeing, small shop	1 space per 300 square feet of gross floor area
Cleaning and dyeing; dry cleaning plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Coal, coke or wood yard	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Concrete, asphalt batching plant (temporary)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Construction yard (temporary)	1 space per employee to be occupying the area
Contractor's shop and storage yard	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Cosmetic manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Cotton seed oil manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Dairy products processing, manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Dance hall	1 space per 100 square feet of gross floor area
Disinfectant manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Distillation of bones, coal or wood	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Drugs or pharmaceutical products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Dyestuff manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Electric power generating plant	1 space per employee
Electrical appliances, supplies, and machinery, assembly or manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Electrical substation	1 space per employee
Electrical transmission line	0 spaces
Electronic products, assembly	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Electronic products, manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Emery cloth and sandpaper manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Engine and motor repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Fairgrounds	1 space per employee, plus 1 space for each 2 patrons based on maximum patron load
Farm equipment, sales and service	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Farm seed and/or fertilizer sales/storage (inside or outside)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Farm, ranch, or orchard	1 space per employee

Fat rendering	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Feed and farm supply (inside or outside sales/storage)	1 space per 300 square feet of gross floor area
Field or sales office, temporary	1 space per employee
Fish smoking and curing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Flea market	1.5 spaces for each 200 square feet of gross floor area or market area
Food products processing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Food store; grocery store	1 space per 300 square feet of gross floor area
Forge plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Foundry (iron, steel, brass or copper)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Fur good manufacturing (not including tanning and dyeing)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Furniture and appliance repair and storage	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Furniture and upholstery manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Furniture, appliance store	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Garage, private	1 space per employee to be occupying the garage
Gas manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Gas metering station	1 space per employee
General commercial plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
General manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Glass products	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Glue or gelatin manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Golf course	Minimum of 30 spaces
Greenhouse or plant nursery, commercial	1 space per 200 square feet of floor area
Greenhouse or plant nursery, noncommercial	1 space per employee
Hatchery	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Heavy machinery sales	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Heliport or heli-atop	1 space if located on the ground
Household appliance products assembly and manufacturing from prefabricated parts	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Ice production, dry or natural	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Industrial park	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

Jute, hemp, sisal or oakum products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Kennel (with or without outside pens)	1 space per 200 square feet of floor area
Laboratory, scientific or research	1 space per 300 square feet of gross floor area
Laundry plant	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Light manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Liquefied petroleum gas, storage and sale (no bulk plants)	1 space per employee plus 1 space for every 2,000 square feet of floor area
Local utility distribution lines	0 spaces
Mattress manufacturing or renovation	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Meat processing/locker plant/frozen food products	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Metal dealer, crafted precious	1 space per 300 square feet of gross floor area
Metal dealer, secondhand	1 space per 300 square feet of gross floor area
Metal fabrication	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Mill (grain, flour, food products)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Mobile food vendor	0 spaces
Musical instrument manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Newspaper printing	1 space per 300 square feet of gross floor area

Nonprofit animal shelter	1 space per 200 square feet of floor area
Office-showroom/warehouse	1 space per 1,000 square feet of gross floor area for storage and warehousing, plus 1 space for each 100 square feet of office, sales or display area
Oil field service	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Oil, gas, other mineral extraction	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space for each 1,000 square feet of gross floor area, whichever is greater
Oilcloth or linoleum manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Ore reduction	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Orthopedic or medical appliance manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Paint, oil, shellac, turpentine or varnish manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Paper products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Park, playground or recreation center (public)	1 space per acre plus additional parking per facility constructed as herein provided
Parking lot or parking garage, automobile	1 space per employee, plus 1 space per vehicle to be parked
Parking lot or parking garage, truck parking	1 space per employee, plus 1 space per vehicle to be parked
Petroleum products, bulk quantities	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Petroleum products, sales (wholesale)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Pipe sales and supply	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Plastic products manufacturing (not including processing of raw materials)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Post office, government and private	1 space per 300 square feet of gross floor area
Print shop	1 space per 300 square feet of gross floor area
Public or private franchised utility, excluding office buildings, garages, shops, railroad yards, loading yards, and warehouses	1 space per employee
Pump sales, repair and maintenance	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Radio, TV or microwave operation, amateur or commercial. (See further regulations in section 42-55(i))	1 space per employee
Railroad station	1 space per employee, and if station is for public travel, 1 space for every 1,000 square feet of areas meant for public travel
Railroad Team track and right-of-way	1 space per employee
Railroad track and right-of-way	1 space per employee
Rodeo arena and grounds	1 space for every 4 seats or bench seating
Sand, gravel, stone or earth sales	1 space per 300 square feet of gross floor area
School, commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
School, trade	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
School, trade or commercial	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Scrap metal sales and storage	1 space for each 2 employees or 1 space per 1,000 square feet of gross floor area, whichever is greater
Scrap tire facility	1 space per employee
Self storage; mini-warehouse	4 spaces per complex, plus 1 space per 5,000 square feet of storage area
Service yards of government agency	1 space per employee

Created: 2021-12-16 09:36:45 [EST]

Sewage pumping station	0 spaces
Sexually oriented business	1 space per 200 square feet of gross floor area
Shops, office and/or storage area of public or private utility	1 space per employee
Solid waste transfer station	1 space per employee
Sporting and athletic equipment manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Stadium or playfield	1 parking space for each 4 seats or bench seating spaces
Steel fabrication	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Storage/wholesale warehouse, light or heavy	1 space for each 2 employees, or 1 space per 1,000 square feet of total gross floor area, whichever is greater
Tattoo parlor/body piercing studio	1 space per 200 square feet of gross floor area
Telephone exchange	1 space per employee
Telephone line	0 spaces
Theater (indoor or outdoor)	1 space for each 4 seats or bench seating spaces
Tire recapping, vulcanizing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Tire retreading and recapping	1 space per employee
Tools or hardware manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Toys and novelty products manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Transit station or turnaround	1 space per intended user
Truck and bus repair	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Truck or motor freight terminal	1 space per employee plus one space for each intended vehicle to be accommodated
Truck sales	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor

	area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Water pumping station or well	0 spaces
Water storage, elevated or ground	0 spaces
Water treatment plant	1 space per employee
Window shade, awnings, Venetian blind manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Yeast manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

(c) *Development criteria.* Unless otherwise specifically provided in this section, the following development criteria shall apply to this district:

- (1) Except as provided below, every use, or any part thereof, that is not conducted within a building completely enclosed on all sides shall be enclosed within a wall or fence a minimum of six feet and a maximum of ten feet in height. Such wall or fence shall completely screen all operations conducted within such wall or fence from observation. No exterior storage area shall encroach into any of the required yard. All outside storage shall be placed upon an all-weather hard surface. The screening requirements set forth above shall not apply to:
 - a. Off-street parking of motor vehicles in operable condition;
 - b. Off-street loading;
 - c. Permitted display of merchandise for sale to the public; and
 - d. Establishments of the drive-in type.
- (2) No loading or storage of material or products shall be permitted in the required front yard.
- (3) All uses permitted in the M-2 district must meet the following performance standards and any appropriate city ordinances:
 - a. *Smoke.* No operation shall be conducted unless it conforms to the standards established by any applicable state and federal health rules and regulations pertaining to smoke emission;
 - b. *Particulate matter.* No operation shall be conducted unless it conforms to the standards established by applicable state and federal health rules and regulations pertaining to emission of particulate matter;
 - c. *Dust, odor, gas, fumes, glare, or vibration.* No emission of these matters shall result in a concentration at or beyond the property line which is detrimental to the public health, safety or general welfare or which causes injury or damage to property; said emissions shall in all cases conform to the standards established by applicable state and federal health rules and regulations pertaining to said emissions;
 - d. *Radiation hazards and electrical disturbances.* No operation shall be conducted unless it conforms to the standards established by applicable state and federal health rules and regulations pertaining to radiation control;

- e. *Noise.* No operation shall be conducted in a manner so that any noise produced is objectionable due to intermittence, beat frequency, or shrillness. Sound levels of noise at the property line shall not exceed 75 db(A) permitted for a maximum of 15 minutes in any one hour; said operation shall in all cases conform to the standards established by applicable state and federal health rules and regulations and to other city ordinances pertaining to noise; and
- f. *Water pollution.* No water pollution shall be emitted by manufacturing or other processing. In a case in which potential hazards exist, it shall be necessary to install safeguards acceptable to the appropriate state and national health and environmental protection agencies prior to issuance of a certificate of occupancy. The applicant shall have the burden of establishing that said safeguards are acceptable to said agency.
- (4) The first 15 feet of the required front yard setback, measured from the property line shall be landscaped with trees, grass and shrubs, provided with pedestrian walks to the front of the building and maintained in a neat and attractive condition. The balance of said required setback may be utilized for off-street parking.
- (d) *Specific uses.* The following specific uses are allowed in the M-2 district when authorized by the board of adjustment under the provisions of section 42-45:

USE	PARKING REGULATIONS
Arcade	1 space for every 200 square feet of floor area
Auto parts sales (outside)	1 space for every 1,000 square feet of floor area
Auto repair, major or minor	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Auto wrecking yard or junkyard	1 space for every 1,000 square feet of floor area
Automobile service station	3 spaces per service bay, plus 1 space per employee (maximum shift), plus 1 space per tow truck or other service vehicle
Building materials, hardware (inside storage)	2 spaces plus 1 additional parking space for each 500 square feet of gross floor area over 1,000 square feet
Cemetery or mausoleum	1 space per employee plus 1 space for every 1,000 square feet of gross floor area
Chemical manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
College or university	1 space for each 2 students, plus 1 space for each classroom, laboratory or instruction area
Community home	1 space per employee to be occupying the building
Concrete, asphalt batching plant (permanent)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Cotton gin	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Creosote treatment	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Exhibition area	1 space per employee, plus 1 space for each 2 patrons based on maximum patron load
Explosive or fireworks manufacturing or storage	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Fertilizer manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Fiberglass manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Fraternal organization, lodge	1.25 spaces per 200 square feet
Fraternal organization, lodge or civic club	1.25 spaces per 200 square feet
Garbage, offal or dead animal reduction	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Golf driving range	1 space per employee plus 1 space per 5,000 square feet of floor area
Grain elevator	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Herbicide manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Hospital (acute care)	1 space for every 2 beds
Hospital (chronic care); long term health care facility	1 space for each 2 beds
Insect poison manufacturing	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1

	space per 1,000 square feet of gross floor area, whichever is greater
Junkyard or salvage yard	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Livestock feed yards	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Mines and quarries	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater
Plumbing, heating, refrigeration or air conditioning business	1 space per 300 square feet of gross floor area
Portable building sales	1 space per 300 square feet of gross floor area
Prison, jail or place of incarceration	1 space per employee plus 1 space for every 200 square feet of visitor floor area
Racetrack	1 space for every 4 seats or bench seating
Servant's, caretaker's or guard's residence	1 space per unit
Sewage treatment plant	1 space per employee
Shooting range, target range	1 space per employee plus 1 space for every 5,000 square feet of floor area
Stable, commercial	1 space per employee plus 1 space for every 1,000 square feet of floor area
Swimming pool, commercial or private	1 space for each 100 square feet of gross water surface and deck area
Tire dealer (with or without outside storage)	1 space for every 200 square feet of floor area
Tool rental shop	1 space per 200 square feet of gross floor area
Trailer rental	1 space per 200 square feet of gross floor area
Travel trailer, manufactured housing or manufactured home display and sales	1 space per 200 square feet of gross floor area
Truck and bus leasing	1 space per employee, plus 1 space per stored vehicle, plus 1 space for each 500 square feet of indoor floor area or 1 space for each 1,000 square feet of outdoor area, whichever is greater
Vendor, stationary	1 space per 200 square feet of gross floor area
Veterinarian clinic (with or without outside pens)	1 space per 200 square feet of gross floor area
Wrecking yard (junkyard or salvage yard)	1 space for each 2 employees on the maximum working shift, plus space to accommodate all vehicles used in connection therewith, but not less than 1 space per 1,000 square feet of gross floor area, whichever is greater

(e) *Site plan required.* A site plan, meeting the requirements of section 42-56, site plan requirements, shall be required for each development application for any permitted use in the M-2 district.

(f) *Development requirements.*

Minimum lot area:	None
Minimum lot width:	50 linear feet
Minimum lot depth:	80 linear feet
Minimum front yard:	A 25-foot front yard is required except that a front yard of not less than 50 feet shall be provided upon that portion of a lot abutting or across a street or alley from property in a residential or commercial district.
Minimum side yard:	No side yard is required except that a side yard or a side street yard of not less than 50 feet in width shall be provided on the side of the lot abutting a residential or commercial district.
Minimum rear yard:	No rear yard is required except that a rear yard of not less than 50 feet in depth shall be provided upon that portion of a lot abutting or across a rear street or alley from a residential district, except that such rear yard requirement shall be 25 feet in depth where the property in the residential district backs up to the rear street.
Maximum ground coverage:	None
Maximum density per acre:	NA
Height:	45 linear feet

(g) *Screening devices.* In the event that the M-2 district abuts or is adjacent to a lot zoned SF-1, SF-2, GH, MH-1, MH-2, MH-3, TF, or MF, no windows shall be permitted above ten feet on the building sides facing such residential district. In addition, a masonry or wood wall shall be constructed on the nonresidential property adjacent to the common property line. Except as provided by section 42-59, the wall shall have a minimum height of six feet above the average grade. Screening located exclusively along the front building set back must be an irrigated earthen berm, hedge, or decorative fencing only. This screening shall be maintained throughout the existence of the manufacturing/industrial use by the owner of the property.

(h) *Masonry requirements.*

- (1) All single-story buildings hereafter constructed or placed in the M-2 district shall have at least 75 percent of those exterior wall surfaces fronting a public street constructed of masonry and/or glass pane.
- (2) All buildings having more than a single story hereafter constructed or placed in the M-2 district shall have at least 50 percent of those exterior wall surfaces fronting a public street constructed of masonry and/or glass pane.
- (3) All additions hereafter constructed to buildings in the M-2 district shall have at least 50 percent of those exterior wall surfaces fronting a public street constructed of masonry and/or glass pane.

(Ord. No. 2015-005, § 1, 4-20-2015)

Alvarado Address	Owners	Mailing Address	City	State	Zip Code	PID
200 Village Park Dr	Alvarado Shopping Center LP ETAL	2907 Tx-121	Bedford	TX	76021	126.2473.00070
400 E Hwy 67	CFRE Holdings LLC	10525 Fm 916	Grandview	TX	76050	126.0737.01103
200 W Hwy 67	Omkar Business Group LLC	5736 Moon Flower Ct.	Fort Worth	TX	76244	126.0737.00141
5445 S. IH 35W	Siyabhakti LLC	2005 N. Main Street	Cleburne	TX	76033	126.2451.00020
400 Village Park Dr	Orchid Hotel Group LLC	1800 W. Henderson Street	Cleburne	TX	76033	126.2473.00040
1185 W. Hwy 67	Sadit LLC	8004 Winbrook Drive	Benbrook	TX	76126	126.2432.00010
1165 W. Hwy 67	Superior Grocers Inc.	1165 W. Hwy 67	Alvarado	TX	76009	126.2389.00010

Alvarado Address	Occupants	Mailing Address	City	State	Zip Code	
200 Village Park Dr	Tobacco and Gift Shop	204 Village Park Dr	Alvarado	TX	76009	126.2473.00070
400 E Hwy 67	Best Canna LLC	400 East US Highway 67	Alvarado	TX	76009	126.0737.01103
200 W Hwy 67	Alvarado Tobacco Shop	200 W Hwy 67	Alvarado	TX	76009	126.0737.00141



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Alvarado Shopping Center LP Etal
2907 Tx-121
Bedford, TX 76021

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m. regarding a change to zoning regulation under which the current conforming use at 204 Village Park Drive is a nonconforming use if the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current conforming use at 204 Village Park Drive is a nonconforming use if the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

CFRE Holdings LLC
10525 Fm 916
Grandview, TX 76050

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m. regarding a change to zoning regulation under which the current conforming use at 400 E. Hwy 67 is a nonconforming use if the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current conforming use at 400 E. Hwy 67 is a nonconforming use if the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Omkar Business Group LLC
5736 Moon Flower Ct.
Fort Worth, TX 76244

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m. regarding a change to zoning regulation under which the current conforming use at 200 W. Hwy 67 is a nonconforming use if the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current conforming use at 200 W. Hwy 67 is a nonconforming use if the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Siyabhakti LLC
200 W. Hwy 67
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 5445 S. IH 35W is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 5445 S. IH 35W is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Orchid Hotel Group LLC
1800 W. Henderson Street
Cleburne, TX 76033

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 400 Village Park Drive is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 400 Village Park Drive is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Sadit LLC
8004 Winbrook Drive
Benbrook, TX 76126

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 1185 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 1185 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Superior Grocers Inc.
1165 W. Hwy 67
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 1165 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 1165 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Tobacco and Gift Shop
204 Village Park Drive
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m. regarding a change to zoning regulation under which the current conforming use at 204 Village Park Drive is a nonconforming use if the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current conforming use at 204 Village Park Drive is a nonconforming use if the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Best Canna LLC
400 East US Highway 67
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m. regarding a change to zoning regulation under which the current conforming use at 400 E. Hwy 67 is a nonconforming use if the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current conforming use at 400 E. Hwy 67 is a nonconforming use if the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Alvarado Tobacco Shop
200 W. Hwy 67
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m. regarding a change to zoning regulation under which the current conforming use at 200 W. Hwy 67 is a nonconforming use if the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current conforming use at 200 W. Hwy 67 is a nonconforming use if the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Super 8 by Wyndham
5445 S. IH 35W
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 5445 S. IH 35W is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 5445 S. IH 35W is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Comfort Inn & Suites
400 Village Park Drive
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 400 Village Park Drive is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 400 Village Park Drive is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

Motel 6
1185 W. Hwy 67
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 1185 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 1185 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org



City of Alvarado
104 W. College Ave. Alvarado, TX 76009
817-790-3351 ♦ www.cityofalvarado.org

December 21, 2023

La Quinta Inn & Suites
1165 W. Hwy 67
Alvarado, TX 76009

THE CITY OF ALVARADO IS HOLDING A HEARING THAT WILL DETERMINE WHETHER YOU MAY LOSE THE RIGHT TO CONTINUE USING YOUR PROPERTY FOR ITS CURRENT USE. PLEASE READ THIS NOTICE CAREFULLY.

NOTICE OF HEARING BEFORE PLANNING AND ZONING COMMISSION

Notice is hereby given that a public hearing will be held before the Planning and Zoning Commission of the City of Alvarado on Thursday, the 18th day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30p.m. regarding a change to zoning regulation under which the current use at 1165 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted. The Planning and Zoning Commission will forward a recommendation to the City Council.

NOTICE OF HEARING BEFORE CITY COUNCIL

Notice is hereby given that a public hearing will be held by the City Council of the City of Alvarado on Monday, the 22nd day of January 2024, in the Council Chambers, 104 W. College Avenue, at 6:30 p.m., regarding a change to zoning regulation under which the current use at 1165 W. Hwy 67 is a nonconforming use if the use is presently conforming and the regulation is adopted.

For more information on the Comprehensive Plan, its land use classifications and its role in the planning and zoning process, you may contact the Community Development Director at 817.240.9585, or at frenchj@cityofalvarado.org.

Sincerely,

Justin French, AICP
Community Development Director
City of Alvarado
frenchj@cityofalvarado.org

ORDINANCE NO. 2024-0001

AN ORDINANCE OF THE CITY OF ALVARADO, TEXAS, AMENDING CHAPTER 42, "ZONING" OF THE CODE OF ORDINANCES, CITY OF ALVARADO, TEXAS, AS AMENDED, ARTICLE I, "RULES OF CONSTRUCTION AND DEFINITIONS", SECTION 42-9, "DEFINITIONS", BY ADDING DEFINITION OF SMOKE SHOP; AND ARTICLE II, "DISTRICTS AND LAND USES"; AND SECTION 42-28 "MULTI-FAMILY RESIDENTIAL DISTRICT" BY CLARIFYING MAXIMUM DENSITY; SECTION 42-29, "OFFICE, LIGHT RETAIL, NEIGHBORHOOD SERVICES DISTRICT" AND SECTION 42-30, "GENERAL COMMERCIAL DISTRICT" BY CLARIFYING PERMITTED USES; AND SECTION 42-31, "M-1 LIGHT MANUFACTURING/INDUSTRIAL DISTRICT" BY AUTHORIZING USES BY SPECIFIC USE PERMIT; AND SECTION 42-32, "M-2 HEAVY MANUFACTURING/INDUSTRIAL DISTRICT" BY REMOVING SEXUALLY ORIENTED BUSINESS AS A USE ALLOWED BY-RIGHT; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY CLAUSE; PROVIDING FOR PUBLICAITION IN THE OFFICAL NEWSPAPER AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Alvarado, Texas is a type home-rule municipality located in Johnson County, created in accordance with the provisions of Chapter 9 of the Local Government Code and operating pursuant to the provisions of, and subject only to the limitations imposed by the State Constitution, State Laws, and the City Charter; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has previously adopted a Zoning Ordinance for the purpose of promoting health, safety, and general welfare of the citizens of the City of Alvarado to lessen congestion in the streets, to secure safety from fire, panic, and other dangers, provide adequate light and air, to prevent overcrowding of land, to avoid undue concentration of population, and to facilitate the adequate provision of transportation, water, sewers, schools, parks, and other public requirements; and

WHEREAS, the Planning and Zoning Commission of the City of Alvarado, Texas held a public hearing on January 18, 2024, with respect to the proposed amendments described herein and recommended approval by a vote of ____ in favor and ____ opposed; and

WHEREAS, in accordance with Section 211 of the Texas Local Government Code the City Council of the City of Alvarado, Texas held a public hearing on January 22, 2024, with respect to the proposed amendments described herein; and

WHEREAS, the City has complied with all requirements of Chapter 211 of the Local Government Code, City ordinances, and all other laws dealing with notice, publication, and procedural requirements for approval of an ordinance amending the zoning ordinance; and

WHEREAS, the City Council finds that the amendments as outlined herein are in the best interest of the City of Alvarado and will promote the health, safety, and general welfare of the citizens of the City of Alvarado and the general public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALVARADO, TEXAS THAT:

SECTION 1.

Subsection (c), “*Development requirements*,” of Section 42-28, “MF multi-family residential district,” of Article II, “Districts and Land Uses,” of Chapter 42, “Zoning,” of the Code of Ordinances, City of Alvarado, Texas, is hereby amended with the following amendment and foot note addition:

Maximum density:	15.0/25.0 dwelling units per acre ⁷
------------------	--

⁷ The first number in the column is the maximum density for a multi-family development fronting a residential street; the second number in the column is the maximum density for a multi-family development fronting a collector or major street.

***”

SECTION 2.

Subsection (b), “*Permitted uses and parking regulations*,” of Section 42-29, “C-1 office, light retail and neighborhood services district,” and Subsection (b), “*Permitted uses and parking regulations*,” of Section 42-30, “C-2 general commercial district,” of Article II, “Districts and Land Uses,” of Chapter 42, “Zoning,” of the Code of Ordinances, City of Alvarado, Texas, are hereby amended by the following deletion:

USE	PARKING REGULATIONS
Motel, motor hotel, or motor lodge	1 space for each sleeping room, plus 1 space for each 300 square feet of commercial floor area

***”

SECTION 3.

Subsection (b), “*Permitted uses and parking regulations*,” of Section 42-32, “M-2 heavy manufacturing/industrial district,” of Article II, “Districts and Land Uses,” of Chapter 42, “Zoning,” of the Code of Ordinances, City of Alvarado, Texas, is hereby amended with the following deletion:

USE	PARKING REGULATIONS
Sexually oriented business	1 space per 200 square feet of gross floor area

***”

SECTION 4.

Subsection (d), “*Specific uses*,” of Section 42-31, “M-1 light manufacturing/industrial district,” of Article II, “Districts and Land Uses,” of Chapter 42, “Zoning,” of the Code of Ordinances, City of Alvarado, Texas, are hereby amended with the following addition:

USE	PARKING REGULATIONS
Motel, motor hotel, or motor lodge	1 space for each sleeping room, plus 1 space for each 300 square feet of commercial floor area

***”

SECTION 5.

Section (b), “Definitions,” of Section 42-9, “Rules of construction and definitions,” of Article I, “Applicability of Ordinance,” of Chapter 43, “Zoning,” of the Code of Ordinances, City of Alvarado, Texas is hereby amended with the following addition:

Smoke shop means an establishment principally for the retail sale of sealed containers of tobacco or nicotine products or similar devices, including e-cigarettes. Tobacco product means any tobacco, cigarette, cigar, pipe tobacco, smokeless tobacco, snuff, or any other form of tobacco, which may be utilized for smoking, chewing, inhalation or other manner of ingestion or absorption.

***”

SECTION 6.

Subsection (d), “*Specific uses*,” of Section 42-31, “M-1 light manufacturing/industrial district,” of Article II, “Districts and Land Uses,” of Chapter 42, “Zoning,” of the Code of Ordinances, City of Alvarado, Texas, is hereby amended with the following addition:

USE	PARKING REGULATIONS
Smoke shop	1 space per 300 square feet of gross floor area

***”

SECTION 7.

This ordinance shall be cumulative of all other ordinances of the City of Alvarado, Texas, as amended, and shall not repeal any of the provisions of such ordinances, except in those instances where provisions of such ordinances are in direct conflict with the provisions of this Ordinance.

SECTION 8.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs, and sections of this ordinance are severable, and if any phrase, clause sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 9.

All rights or remedies of the City of Alvarado, Texas are expressly saved as to any and all violations of any ordinance affecting subdivisions or design standards that have accrued at the time of the effective date of this ordinance; and, as to such accrued violations and all pending litigation, both civil and criminal, whether pending in court or not, same shall not be affected by this ordinance but may be prosecuted until final disposition by the courts.

SECTION 10.

Any person, firm, or corporation who violates any provision of this Ordinance as adopted by the City Council of the City of Alvarado shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be punished by a fine as provided in Section 9-67 of the Code of Ordinances, City of Alvarado, Texas. Each day any such violation or violations exist shall constitute a separate offense and shall be punishable as such.

SECTION 11.

The City Secretary of the City of Alvarado is hereby directed to the caption, penalty clause, publication clause and effective date clause of this ordinance one time in the official newspaper of the City, as authorized by Section 52.013 of the Local Government Code.

SECTION 12.

This ordinance shall be in full force and effect from and after its passage as required by law,

AND IT IS SO ORDAINED.

PASSED AND APPROVED ON this the 22nd day of January, 2024.

CITY OF ALVARADO

By: _____
Jacob Wheat, Mayor

ATTEST:

Beth A. Walls, City Secretary

DRAFT

PUBLIC NOTICE

Notice is hereby given that the Alvarado Planning and Zoning Commission will conduct a public hearing at their regularly scheduled meeting in the Council Chambers at Alvarado City Hall on Thursday, January 18, 2024 at 6:30 p.m. to consider and act on the items below.

Public hearing and consideration and action approving an ordinance amending the zoning ordinance regulations in Chapter 42 of the Alvarado Code of Ordinances, relating to multi-family residential, motel, sexually oriented business, and smoke shop uses.

The Alvarado City Council will also conduct a public hearing and consider the recommendations of the Planning and Zoning Commission regarding the above matters on Monday, January 22, 2024 at 6:30 p.m. in the Council Chambers at Alvarado City Hall, 104 W. College Avenue.